AGENDA REGULAR MEETING OF THE BOARD OF TRUSTEES OF THE VILLAGE OF MORTON, ILLINOIS 7:00 P.M. MONDAY, AUGUST 19, 2024 FREEDOM HALL, 349 W. BIRCHWOOD, MORTON, ILLINOIS

I. CALL TO ORDER

II. ROLL CALL

III. PLEDGE OF ALLEGIANCE TO THE FLAG

IV. PUBLIC HEARING

V. PRESENTATIONS AND SPECIAL REPORTS

VI. PUBLIC COMMENT

- A. Public Comments
 - B. Requests for Removal of Items from the Consent Agenda

VII. CONSENT AGENDA

- A. Approval of Minutes
 - 1. Regular Meeting August 4, 2024
- B. Approval of Bills

VIII. CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA

IX. VILLAGE PRESIDENT

A. A Resolution Authorizing The Purchase Of Real Property From David J. Kniep Trust #8248 Known As 325 S. First Avenue

X. VILLAGE CLERK

XI. VILLAGE ADMINISTRATOR

A. Building Improvement Grant Recommendation

XII. CHIEF OF POLICE

A. An Ordinance Making Amendments To Titles 3 And 8 Of The Morton Municipal Code Regarding Solicitation Within The Public Right-Of-Way

XIII. CORPORATION COUNSEL

XIV. DIRECTOR OF FIRE AND EMERGENCY SERVICES

XV. DIRECTOR OF PUBLIC WORKS

- A. Acceptance of Bid for the Gas & Water Storage Buildings project in the Amount of \$ 767,000.00 and Award of Contract for Same to Hein Construction
- B. Approval of 3-Year Contract Extension from January 1, 2025 through December 31, 2027 for the Purchase of Electricity from Calpine Corporation
- C. Resolution Authorizing Acceptance of Permanent Easements Over a Part of 110 E. Madison, Morton

XVI. ZONING AND CODE ENFORCEMENT OFFICER

XVII. VILLAGE TRUSTEES

- A. Trustee Blunier
- B. Trustee Hilliard
- C. Trustee Leitch
- D. Trustee Menold
- E. Trustee Newman
- F. Trustee Parrott

XVIII. CLOSED SESSIONS

- A. Closed Session for the Purpose of Discussing the Appointment, Employment, Compensation, Discipline, Performance, or Dismissal of Specific Employees of the Public Body per 5 ILCS 120/2(c)(1)
- B. Closed Session pursuant to 5 ILCS 120/2(c)(5) to discuss the purchase or lease of real property for the use of the Village.

XIX. CONSIDERATION OF MATTERS ARISING FROM CLOSED SESSIONS

XX. ADJOURNMENT

VILLAGE BOARD OF TRUSTEES REGULAR MEETING 7:00 P.M., August 4, 2024

After calling the meeting to order, the Pledge of Allegiance was recited and the roll was called. The following members were recorded as present: Blunier, Hilliard, Leitch, Menold, Newman, Parrott - 6.

PUBLIC HEARING – None.

PRESENTATIONS – None.

PUBLIC COMMENT - None.

CONSENT AGENDA

A. Approval of Minutes.

- 1. Regular Meeting July 15, 2024
- 2. Special Meeting July 29, 2024
- B. Approval of Bills

Trustee Leitch moved to approve the Consent Agenda. Motion was seconded by Trustee Parrott and approved with the following roll call vote:

Yes:Blunier, Hilliard, Leitch, Menold, Newman, Parrott -6.No:None -0.Absent:None -0.Abstain:None -0.

VILLAGE PRESIDENT - None

VILLAGE CLERK – None.

VILLAGE ADMINISTRATOR - None.

CHIEF OF POLICE – Deputy Chief Brock introduced and announced the promotion of Officers Logan Noble and Eric Herman to Patrol Sergeant. Both were then officially sworn in by Attorney McGrath in front of family, friends, and other community members.

After a brief pause for photos of the Officers, Deputy Chief Brock requested permission to purchase three squad cars via the State bid from Morrow Brothers Ford. There were some general questions before Trustee Parrott moved to approve. The motion was seconded by Trustee Menold and approved by the following roll call vote:

Yes:Blunier, Hilliard, Leitch, Menold, Newman, Parrott -6.No:None -0.Absent:None -0.Abstain:None -0.

Finally, Deputy Chief Brock presented An Ordinance Making Amendments To Title 8 Of The Morton Municipal Code Regarding Public Camping. Attorney McGrath explained the Ordinance. Trustee Newman moved to approve and it was seconded by Trustee Leitch before approval by the following roll call vote:

Yes: Blunier, Hilliard, Leitch, Menold, Newman, Parrott -6. No: None -0. Absent: None -0.

Abstain: None – 0.

CORPORATION COUNSEL – None.

DIRECTOR OF FIRE AND EMERGENCY SERVICES - None.

DIRECTOR OF PUBLIC WORKS – None.

ZONING AND CODE ENFORCEMENT OFFICER – ZCO Davis presented Permit Type Report - End of 1st Quarter/Year to Date - Fiscal 2024. This was for informational purposes only and is regularly presented to the Trustees.

VILLAGE TRUSTEES

Trustee Blunier – None. Trustee Hilliard – None. Trustee Leitch – None. Trustee Menold – None. Trustee Newman – None. Trustee Parrott – None.

CLOSED SESSIONS – None.

CONSIDERATION OF MATTERS ARISING FROM CLOSED SESSIONS – None.

ADJOURNMENT – With no further business to come before the Board, Trustee Menold moved to adjourn. The motion was seconded by Trustee Leitch and approved by a voice vote of the Trustees.

PRESIDENT

ATTEST:

RESOLUTION NO.

A RESOLUTION AUTHORIZING THE PURCHASE OF REAL PROPERTY FROM DAVID J. KNIEP TRUST #8248 KNOWN AS 325 S. FIRST AVENUE

WHEREAS, the Village of Morton desires to purchase property commonly known as part of 325 S. First Street to provide additional downtown parking for the residents of the Village of Morton; and

WHEREAS, the David J. Kniep Trust #8248 has agreed to sell real property legally described in the Contract for the Sale of Real Estate attached hereto as Exhibit A, and incorporated herein by reference thereto; and

WHEREAS, the Village of Morton has determined that the purchase of the real property in accordance with the terms and conditions of the Contract For Sale of Real Estate attached hereto as Exhibit A is in the best interest of the Village of Morton.

NOW, THEREFORE, be it resolved by the President and Board of Trustees of the Village of Morton as follows:

- 1. The President and Board of Trustees of the Village of Morton find as facts the recitals hereinabove set forth.
- 2. The terms and conditions of the Contract for the Sale of Real Estate are hereby approved and the President is authorized to execute said Contract.
- 3. The President and the Clerk are hereby authorized, respectively, to execute and attest such other documents as may be necessary to the purchase of real property herein authorized.

PASSED AND APPROVED at a meeting of the President and Board of Trustees of the Village of Morton, Tazewell County, Illinois, this _____ day of _____, 2024; and upon roll call the vote was as follows:

AYES: _____

NAYS: _____

ABSENT:	

ABST	AINING	

APPROVED this _____ day of _____, 2024.

President

ATTEST:

Village Clerk



CONTRACT FOR THE SALE OF REAL ESTATE

Seller:	Buyer:
David J. Kniep Trust #8248	Village of Morton
326 S. Main Street	120 N. Main Street
Morton, Illinois 61550	Morton,, Illinois 61550
Phone:	Phone: 309-266-5361
Email:	Email:
Seller's Attorney:	Buyer's Attorney:
Benckendorf & Benckendorf, P.C.	McGrath Law Office, P.C.
Jim Benckendorf	Patrick B. McGrath
100 N. Main Street	1600 South Fourth Avenue, Ste. 137
Morton, Illinois 61550	Morton, Illinois 61550
Phone: 309-266-6121	Phone: 309-266-6211
Fax:	Fax:
Email: jim@benckendorf.com	Email: realestate@mcgrathpc.com
Listing Broker: NONE	Selling Broker: NONE
Email:	Email:
Phone:	Phone:
Fax:	Fax:

THIS IS INTENDED TO BE A LEGAL DOCUMENT. AN ATTORNEY AT LAW SHOULD BE CONSULTED PRIOR TO THE EXECUTION OF THIS DOCUMENT

THIS CONTRACT is entered into between David J. Kniep, not personally but as Trustee of a Trust Agreement dated March 4, 1997, and known as the David J. Kniep Trust # 8248, hereinafter referred to as **SELLER**, and Village of Morton, hereinafter referred to as **BUYER**, who agree as follows:

- 1. **DEFINITIONS:** For the purposes of this Contract, capitalized terms shall have the meaning set forth in this Section, unless the context clearly requires otherwise
 - a. *"Subject Property"* means the real estate commonly known as 325 S. First Street, Morton,, Illinois assigned P.I.N. Part of 06-06-20-226-002, 06-06-20-226-006, and 06-06-20-243-006 and legally described as follows:

Tract DK -2 as shown on plat of survey dated May 14, 2024 and recorded in the Tazewell County Recorder of Deeds office on May 23, 2024 in Plat Book "RRR", Page 106, as Document #202400005927, situated in Tazewell County, State of Illinois

The exact legal description shall be furnished after title commitment is received and will be based upon title commitment.

- b. "Closing Date" means on or before August 30, 2024.
- c. "Personal Property" means NONE.

- d. "Financing Deadline" means N/A.
- e. "Inspection Deadline" means N/A.
- f. "Escrow Agent" means Hometown Title, Inc.
- 2. <u>PRICE AND PAYMENT</u>: That SELLER agrees to sell the Subject Property to BUYER, who agrees to pay \$100,000.00 therefor in the manner following: \$0.00 (down payment inclusive of earnest money) upon the execution of this Agreement and the remainder as required by the agent on or before the Closing Date and on receipt of deed.
- 3. **FINANCING**: This Contract is not subject to BUYER obtaining financing.
- 4. EVIDENCE OF TITLE: That not less than fourteen (14) days before the Closing Date, SELLER will furnish BUYER a written commitment from a title insurance company duly authorized to do business in Illinois, showing title to said premises subject only to matters to which this sale is subject by the terms hereof and to the customary exceptions contained in owners policies issued by such company. If written commitment discloses defects in title other than matters to which this sale is subject by the terms hereof and the customary exceptions in such policies, then SELLER shall have until date for delivery of deed to correct such defects. Owners' title policy, in amount of the purchase price for said premises, will be paid for by the SELLER and issued to BUYER after delivery of deed.
- 5. <u>DEED AND POSSESSION</u>: That SELLER will cause fee simple title to said real estate to be conveyed to BUYER, or to such party as BUYER may direct, by Warranty Deed (or Trustee's Deed or Executor's Deed, where applicable), and shall deliver possession to BUYER upon payment being made as herein provided, on or before the Closing Date. SELLER shall pay all owners' association(s) dues and/or assessments, and water, sewer, and public utility service charges incurred for improvements on said real estate up to the time when possession passes to BUYER.
- <u>RISK OF LOSS</u>: This contract is subject to the State of Illinois Uniform Vendor and Purchaser Risk Act (765 ILCS 65/1), which provides, in general, that SELLER shall bear the risk of loss until transfer of possession or receipt of deed, whichever occurs first.
- 7. <u>TAXES</u>: Unless otherwise provided for herein, all general real estate taxes for 2023 shall be paid by SELLER. There shall be no proration for the 2024 real estate taxes as it is anticipated that the Subject Property shall be exempt by BUYER's ownership. Taxes shall be paid by SELLER by allowance of SELLER'S share thereof being a credit against the purchase price at closing, based upon the latest known assessed valuation and the latest known tax rate. This transaction is exempt from all transfer taxes.
- 8. <u>ENCUMBRANCES</u>: Mortgage, if any, shall be satisfied out of the purchase price and released when deed is delivered. SELLER'S obligation to obtain mortgage release shall continue until release is obtained and recorded. Easements and building or use restrictions of record, and provisions of zoning and building ordinances, if any, none of which shall be considered as rendering title unmerchantable or unacceptable, provided same are not violated by the existing improvements or the use thereof.

9. <u>TOXIC or HAZARDOUS WASTE:</u> SELLER is unaware of any toxic or hazardous waste materials being stored or having been stored on the premises or the existence of any underground fuel storage tanks on the Subject Property, and further represents that no notices have been received from the Illinois Environmental Pollution Control Board or any other governmental entity with regard to toxic or hazardous waste problem with the Subject Property.

10. Inspections:

- a. BUYER shall have the right to make a final inspection of the Subject Property immediately prior to settlement to verify that its condition has not deteriorated from the date the offer was made to purchase (ordinary wear and tear expected).
- 11. <u>SELLER'S WARRANTIES</u>: SELLER hereby provides the following warranties, with respect to the Subject Property, which is the subject matter of this contract:
 - a. No work has been done upon, or materials furnished to, the premises which could give rise to a lien or liens under the Illinois Mechanics' Lien Act.
 - b. Additional Warranties: The Subject Property that is the subject of this contract is sold "AS IS" with no warranties or guarantees of any kind. The Subject Property has been inspected by BUYER and BUYER is satisfied with its existing condition. The purchase price that has been agreed upon reflects the fact that the Subject Property has been sold "AS IS."
- 12. <u>ADDITIONAL PROVISIONS</u>: The following provisions form a part of this contract unless deleted by mutual agreement of the parties hereto:
 - a. Both SELLER and BUYER agree to comply with the requirements of the Real Estate Settlement Procedures Act
 - b. Words importing the masculine gender include the feminine, words importing the singular number include the plural, and words importing the plural number include the singular
 - c. The covenants and agreements herein contained shall extend to and be obligatory upon the heirs, executors, administrators, and assigns of the respective parties.
 - d. The Subject Property that is to be sold through this Contract is not subject to the Residential Real Property Disclosure Report form due to the fact that the Subject Property is not residential real property within the meaning of the Residential Real Property Disclosure Act or in the alternative, is specifically excepted from a disclosure pursuant to Section 15 of said Act.
 - e. Time is of the essence of this Contract.
 - f. Any deadline in this Contract which falls on a Saturday, Sunday or legally recognized State of Illinois or federal holiday shall be extended to the next business day.
 - g. Section or paragraph headings, or lack thereof, that may be used in various places throughout this Contract are intended for convenience only and shall not be taken into consideration in any construction or interpretation of this Contract or any of its

provisions. To the extent there is deemed to be any conflict between the headings and/or numbers, and the text of this Contract, the text shall control.

- h. SELLER shall provide reasonable access to BUYER and BUYER'S representatives for purposes of inspections, if any, and appraisals.
- i. The BUYER is not purchasing the Subject Property to be owner occupied. This information shall be used by the SELLER'S attorney to prepare the required P-TAX form.
- j. BUYER agrees to pay the survey cost of \$3,590.00 to Holloway Land Surveying and BUYER shall also pay to SELLER the cost of recording said survey.
- k. At a time to be agreed upon by the parties hereto, but no later than August 30, 2025, BUYER shall cause to be removed, at BUYER'S expense, 7 ½ feet of pavement on each side of the centerline of the northeasterly lot line of Parcel DK-2, as shown on the plat of survey attached hereto as Exhibit A. In addition, BUYER shall remove the exiting fence in said area, grade the surface to drain and seed the area.
- 13. LEASE: BUYER shall lease the Subject Property to SELLER for the sum of \$1.00 for the period beginning with the date of closing and ending one year from the Closing Date. The parties shall enter into a written lease for the Subject Property at Closing. Hometown Title, Inc. ("Escrow Agent") shall withhold the sum of \$5,000 from SELLER's proceeds at the closing and shall hold said sum in escrow. Pending written confirmation from BUYER and SELLER, or an order entered by a court of competent jurisdiction, that SELLER has removed all of SELLER's personal property, excluding fencing, sheds, and buildings which shall remain on the Subject Property, and tendered possession of the Subject Property to BUYER, Escrow Agent shall then tender the \$5,000 to SELLER. The parties and Escrow Agent shall execute an Escrow Agreement at closing, with the cost of said escrow to be paid equally by SELLER and BUYER.
- 14. <u>ESCROWEE</u>: The parties agree that Escrow Agent is hereby designated as escrowee for the purposes of any escrow created or hereafter required in connection with this Contract. In the event the Escrow Agent is an attorney for BUYER or SELLER, the parties hereto waive any conflict of interest presented.
- 15. <u>NOTICES</u>.: Title commitments, communications and any notices required to be given pursuant to this Contract shall be delivered to the party's attorney or to the party if not represented by counsel. Any notice shall be given in writing in one of the following ways: (i) by personal delivery to the party or attorney; (ii) by U.S. mail, with postage prepaid, addressed to the party or attorney at the address set forth on the first page hereof; or (iii) by express delivery to the party or attorney at the address set forth on the first page hereof, with charges prepaid. Such notice shall be deemed given on the date when delivered personally, or on the date deposited with the express delivery company (with charges prepaid), or on the date deposited in the U.S. Mail, with postage prepaid.
- 16. <u>PREPARATION AND APPROVAL</u>: This Contract was prepared by McGrath Law Office, P.C., SELLER'S attorney, and approved by BUYER and/or BUYER'S attorney.

- 17. <u>SETTLEMENT</u>: Closing shall be held in Tazewell County, at Hometown Title, Inc., or at the office of BUYER'S closing agent, unless the parties agree otherwise.
- 18. <u>ATTORNEY'S FEES AND EXPENSES</u>: Should SELLER or BUYER bring any action against the other with respect to this Contract, the party that does not prevail upon the action, as determined by the court, shall be liable to the other party for any reasonable attorney's fees, costs, and expenses (including expenses of litigation) incurred by such other party and as determined by the court. This provision shall survive closing and delivery of deeds.
- 19. **DEFAULT:** In the event either party should breach this Contract, the other party may pursue any and all remedies provided.
- 20. **ENTIRE AGREEMENT**: This Contract represents the entire agreement of the parties. Any prior written or oral agreements of the parties regarding the transaction that is the subject of this Contract merge with and are superseded by this Contract. No covenants, agreements, representations, or warranties of any kind have been made by any party or agent of a party to this Contract, except as specifically set forth herein. The parties expressly acknowledge that they have not relied on any prior or contemporaneous oral or written representations or statements in connection with this Contract, except as expressly set forth herein. Any modifications of the terms of this Contract must be in writing and signed by both parties, in the absence of which the terms of this Contract shall govern.

[The remainder of this page is intentionally left blank] Signature page follows

THIS IS INTENDED TO BE A LEGAL DOCUMENT. AN ATTORNEY AT LAW SHOULD BE CONSULTED PRIOR TO THE EXECUTION OF THIS DOCUMENT.

IN WITNESS WHEREOF, the parties to these presents have hereunto set their hands and seals to several counterparts of this Agreement, of equal effect.

DATE SIGNED BY BUYER: _____, 2024.

THIS CONTRACT WILL BE DEEMED EFFECTIVE AS OF THE LAST DATE SIGNED.

BUYER:

Village of Morton

Jeff Kaufman, President

[The remainder of this page is intentionally left blank]

THIS IS INTENDED TO BE A LEGAL DOCUMENT. AN ATTORNEY AT LAW SHOULD BE CONSULTED PRIOR TO THE EXECUTION OF THIS DOCUMENT.

IN WITNESS WHEREOF, the parties to these presents have hereunto set their hands and seals to several counterparts of this Agreement, of equal effect.

DATE SIGNED BY SELLER: _____, 2024.

THIS CONTRACT WILL BE DEEMED EFFECTIVE AS OF THE LAST DATE SIGNED.

SELLER:

David J. Kniep Trust # 8248

David J. Kniep, Trustee



Memo

To:	President and Board of	Trustees
		Trusices

From: Business District Commission

Date: August 15, 2024

Re: Building Improvement Grant Recommendation

Below is the recommendation for Building Improvement Grants from the Business District Commission. The Commission reviewed and approved the following:

Applicant	Property Address	Total Project Cost	Amount Recommended by BDC	Summary of Work
Perfect Promotion	326 S. Main	\$41,145.74	\$10,000.00	Replace front windows, doors and awning
Morton Automatic Electric	641 W. David St.	\$18,074.60	\$9,037.30	Repaint exterior, redo courtyard area, replace grass areas with rock and vegetation

The Commission is asking for your approval of this recommendation.

If you have any questions, please reach out to Julie Smick.

Thank you!

VILLAGE OF MORTON ORDINANCE 24-__

AN ORDINANCE MAKING AMENDMENTS TO TITLES 3 AND 8 OF THE MORTON MUNICIPAL CODE REGARDING SOLICITATION WITHIN THE PUBLIC RIGHT-OF-WAY

NOW THEREFORE, be it ordained by the President and Board of Trustees of the Village of Morton, in the State of Illinois, as follows:

SECTION 1: <u>AMENDMENT</u> "3-9-1: Definitions" of the Morton Municipal Code is hereby *amended* as follows:

AMENDMENT

3-9-1: Definitions

For purposes of this Chapter:

ITINERANT MERCHANT: Any person whether or not the person is an employee of another person, who on real property in which he does not hold a fee simple interest or does not have a leasehold interest of at least six (6) months establishes a display, exhibition, or sales facility for the purpose of selling, offering, or displaying for sale and immediate delivery of tangible personal property at retail or sale of food shall be considered an itinerant merchant for purposes of this Chapter if:

- A. The display, exhibition, or sales facility is established with the intent that such display, exhibition, or sales facility will remain in operation for a period of no more than six (6) months; or
- B. The display, exhibition, or sales facility is established with the intent that its operation will be interrupted for a period of more than ninety (90) days in any calendar year.

NONPROFIT ORGANIZATION: Any bona fide charitable, educational, fraternal, labor, religious, or veterans' organization that operates without profit to its members and has an exemption under section 501(C) of the Internal Revenue Code, or the Morton Chamber of Commerce, Pumpkinland Community Events (PLaCE), Morton School District 709, Morton Park District, Library District, Morton Township or another municipal corporation.

PEDDLER: Any person, whether or not the person is an employee of another person, who directly or indirectly sells or offers for sale, barter, or exchange any farm produce, vegetables, dairy products, meat, fish, foods of any kind, or other goods, wares, or merchandise of any kind, at retail, making delivery of said goods at the time of sale regardless of whether or not such person collects payment at the time of sale, all while traveling from place to place in, along, and upon the streets, alleys, sidewalks, or other public places within the Village, or

while operating from one or more locations outside of a totally enclosed permanent structure.

SOLICITOR: A solicitor is a person who obtains orders, subscriptions, gifts, contributions, or items of a similar nature. <u>Residential</u> Solicitors are regulated under Title 3, Chapter 20 of the Morton Municipal Code. <u>Solicitors within the public right-of-way are regulated under Section</u> <u>8-1-9 of the Morton Municipal Code (Ord. 93-21, 1-3-94)</u>

SECTION 2: <u>AMENDMENT</u> "8-1-9: Prohibition Of Sales On Public Streets" of the Morton Municipal Code is hereby *amended* as follows:

AMENDMENT

8-1-9: ProhibitionRegulation Of Sales and Solicitation On Public Streets

- A. No person, firm, corporation, or other legal entity shall peddle on any public right-ofway within the corporate limits of the Village. "Peddle" shall mean the selling, bartering, or exchanging, or the offering for sale, barter, or exchange of any tangible personal property, including food products.
- B. If the President and Board of Trustees have authorized the temporary closing of a public street, or any portion thereof, then during the period of such closing, personal property, including food products, may be peddled subject to all other applicable ordinances of the Village. (Ord. 96-22, 10-7-96; amd. Ord. 98-47, 4-5-99)
- C. No person shall stand on a public right-of-way for the purpose of soliciting contributions from the occupant of any vehicle except as specifically permitted in Paragraph D of this section.
- D. A soliciting agency may stand on a public right-of-way for the purpose of soliciting contributions from the occupant of any vehicle if the soliciting agency is registered with the Attorney General as a charitable organization as provided by the Solicitation for Charity Act and is engaged in a Statewide fundraising activity. The soliciting agency shall be liable for any injuries to any person or property during the solicitation which is causally related to an act of ordinary negligence of the soliciting agent. The soliciting agency shall provide a certificate of insurance to the Village of Morton prior to commencing soliciting within a public right-of-way in amounts deemed sufficient to the Village of Morton. Any person engage in the act of solicitation shall be 16 years of age or more and shall be wearing a high visibility vest. Prior to commencing solicitation shall occur within the public right-of-way. The soliciting agency shall not commence solicitation without having first obtain the advanced written consent of the Chief of Police or his designee of the planned location and hours for solicitation.

SECTION 3: REPEALER CLAUSE All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

SECTION 4: <u>SEVERABILITY CLAUSE</u> Should any part or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinances a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

SECTION 5: <u>EFFECTIVE DATE</u> This Ordinance shall be in full force and effect from ______ and after the required approval and publication according to law.

PASSED AND ADOPTED BY THE VILLAGE OF MORTON PRESIDENT AND BOARD OF TRUSTEES ______.

	AYE	NAY	ABSENT	ABSTAIN
Trustee Blunier				
Trustee Hilliard				
Trustee Leitch				
Trustee Menold				
Trustee Parrott				
Trustee Newman				
President Kaufman				
Presiding Officer		Attest		

Jeffrey L. Kaufman, Village President, Village of Morton Zo M. Evans, Village Clerk, Village of Morton



August 14, 2024

Dear Village of Morton Board of Trustees:

On Thursday August 8th at 2pm we received bids from (3) contractors for the Gas & Water Storage Buildings project. I have attached the bid tab results for your review. Hein Construction is the apparent low bidder with a bid submission of \$579,000 for building work and \$188,000 for site work.

I have reviewed the bid submission, including the list of subcontractors and vendors that are intended to be utilized, and it appears to be in order. Keach Architectural Design recommends awarding the contract to Hein Construction.

Upon awarding the contract, and at your direction, I will send an Award Letter and an AIA Contract to Hein Construction authorizing them to begin work as set forth by the Contract Documents, which have also been attached for your information. Work can start immediately and is required to be substantially complete by December 31st, 2024, however, most of the work will be done this fall.

For your reference I have attached the Pre-Bid Sign-in Sheet which indicates initial interest in the project.

If you have any questions, please feel free to call me.

Sincerely,

Wesley A. Sutter

γAʻ

Keach Architectural Design, Inc.

cc: Craig Loudermilk, Lee Gerrietts

Village of Morton **GAŠ & WATER STORAGE BUILDINGS**

445 E Birchwood St, Morton, Illinois 61550

BID TABULATION



KEACH Project Number 24003				Thursday, August 8th, 2024
BIDDER >	CAD Construction	Hein Construction	Otto Baum	
Bid Bond	Х	Х	Х	
Addenda Acknowledged	Х	Х	Х	
Signed Bid Form	Х	Х	Х	
Pre Bid Attendance	x	Х	Х	
BASE BID A >	\$621,800	\$579,000		
BASE BID B >	\$235,800	\$188,000	\$232,883	

SUBCONTRACTORS

Metal Roof & Wall Panel Manufacturer	McElroy	McElroy		
Metal Roof & Wall Panel Installer	Self Perform	Self Perform		
Concrete Contractor	Knapp	Self Perform	Self Perform	
Excavation Contractor	Knapp	Self Perform	Self Perform	
Rough Framing Contractor	Self Perform	Self Perform		

VILLAGE OF MORTON GAS & WATER STORAGE BUILDINGS 445 E BIRCHWOOD ST. MORTON, IL 61550 MATERIAL STORAGE PERSPECTIVE **BID DOCUMENTS**

Architect:

Keach Architectural Design, Inc. **99 Commerce Drive** Morton, Illinois 61550 (309) 263-4545

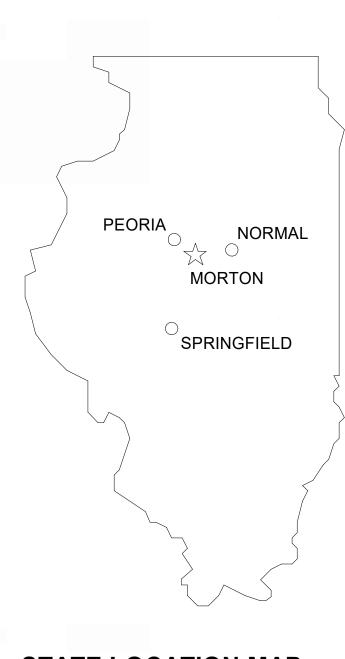
Structural Consultant: Mohr and Kerr Engineering 5901 N. Prospect Road Suite 6B Peoria, Illinois 61614 (309) 692-8500

Civil Consultant: Chamlin & Associates, Inc. **219 South Main Street** Morton, Illinois 61550 (309) 291-3577

____2

REV #	DATE	DESCRIPTION
2	07/31/24	ADDENDUM 2

07/22/2024



STATE LOCATION MAP

(

(-

SCALE: NONE

MATERIAL STORAGE



LOCATION MAP SCALE: NONE

BUILDING STORAGE



STORAGE BUILDING PERSPECTIVE



~		
$\left\{ \right\}$	SHEET	INDEX
<	GENERAL	
	G-100a G-101	COVER SHEET GENERAL INFORMATION
2	CIVIL	
	C-100 C-110a C-200a	GENERAL NOTES, LEGEND, AND OVERALL PLAN SPECIAL PROVISIONS AND SPECIFICATIONS EXISTING CONDITIONS, DEMOLITION, AND EROSION CONTROL PLAN
	C-300a C-400a C-500a C-600 C-610 C-620	SITE PLAN SITE PLAN LAYOUT AND GRADING PLAN EROSION CONTROL, SITE, AND PAVEMENT DETAILS IDOT REFERENCED STANDARDS IDOT REFERENCED STANDARDS IDOT REFERENCED STANDARDS
(

99 COMMERCE DRIVE	MORTON, ILLINOIS 61550	PH: 309-263-4545	FAX: 309-263-5515



PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE **BUILDINGS**

445 E BIRCHWOOD ST. **MORTON, IL 61550**

IMENSIONS AND CONDITIONS AT JOB SITE AND F FULLY RESPONSIBLE FOR SAME, INFORMATION SHOWN ON ANY PART OF THE DRAWINGS SHAL APPLY TO SIMILAR CONDITIONS AT OTHER LOCATIONS IN THE WORK UNLESS SET FORT

THESE DRAWINGS AND ALL RELATED MATERIA ARE THE PROPERTY OF THE ARCHITECT, ANYON USING THE ABOVE FOR ANY PURPOSE, WITHOUT PERMISSION, WILL BE HELD LIABLE.

	ARCHITECT	ſURAL
	AD101a	DEMOLITION - FLOOR PLAN & REFLECTED CEILING PLAN - STORAGE BUILDING
	AD102	DEMOLITION - ROOF PLAN
	AD201	DEMOLITION - EXTERIOR ELEVATIONS
	A-101a	FLOOR PLAN & REFLECTED CEILING PLAN - STORAGE BUILDING
٧	A-102	FLOOR PLAN & REFLECTED CEILING PLAN - MATERIAL STORAGE
	A-103a	ROOF PLANS
	A-201a	EXTERIOR ELEVATIONS
S	A-301	SECTIONS
	A-501a	CONSTRUCTION DETAILS
	A-502a	CONSTRUCTION DETAILS
	A-601a	DOOR SCHEDULE & DETAILS

) 1	
DATE:	07/22/2024
PROJECT NO.	24003
SHEET NUMBER	
) (j-′	I()()a

ABBREVIATIONS

Г

D

_

С

_

В

_

А

L

1

A/E		GC	GENERAL OR PRIME CONTRACTOR	R	RISER
AB	ANCHOR BOLT AMERICAN CONCRETE	GL	GLASS GLAZING	R	RADIUS RADIUS
ACOUS	INSTITUTE ACOUSTICAL	GND	GROUND GRAD (E) (ING)	RD	ROOF DRAIN REFERENCE
ACT	ACOUSTICAL CEILING TILE	GVL	GRAVEL	REFR	REFRIGERATION
ADJ	ADJUSTABLE ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD GYPSUM	REFRIG REG	REFRIGERATION REGULAR
AHU	AIR HANDLING UNIT	GYP BD	GYPSUM BOARD		
ALLOW	ALLOWABLE ALUMINUM	GYP PLAS	GYPSUM PLASTER	REINF	REINFORCE (D) (ING) (MENT) REQUIRED
ALT	ALTERNATE	HAS	HEADED ANCHOR STUD	REQ'D	REQUIRED
ANOD	ANODIZED ACCESS PANEL	HB	HOSE BIBB HOSE CABINET	RESIL RET	RESILIENT RETURN
APPROX	APPROXIMATE	HDWD	HARDWOOD	RFG	ROOFING
ARCH	ARCHITECT (URAL) ASBESTOS	HGT	HEIGHT HIGH INTENSITY DISCHARGE	RH	RIGHT HAND RAILING
ASPH	ASPHALT	НМ	HOLLOW METAL	RM	ROOM
ATT	ATTENUATION AMERICAN WELDING	HNDRL HORIZ	HAND RAIL HORIZONTAL	RO	ROUGH OPENING RIGHT OF WAY
	SOCIETY	HP	HIGH POINT		
@	AT	HR HTG	HOUR HEATING	S	SOUTH SANITARY
BD	BOARD	HVAC	HEATING, VENTILATION, AIR	SB	SPLASH BLOCK
BITUM BLDG	BITUMINOUS BUILDING	HYD	CONDITIONING HYDRANT	S-CMU SC	STANDARD CMU SOLID CORE
BLK	BLOCK			SCHED	SCHEDULE
BLKG BM	BLOCKING BEAM	ID	INSIDE DIAMETER INCH	SECT	SECTION SINGLE
В/О	BOTTOM OF	"	INCH	SH	SHOWER
BOT	BOTTOM BUILDING LINE	INCAND INSUL	INCANDESCENT INSULATION	SHT	SHEET (ING) SHEATHING
BUR	BUILT-UP ROOF	INT	INTERIOR	SHV	SHELVES (ING)
САВ	CABINET	INV	INVERT	SIM SK	SIMILAR SINK
С/С	CENTER TO CENTER	J	JANITOR	SP	SPACE (S) (ING)
CEM	CEMENT CERAMIC	JAN JB	JANITOR JUNCTION BOX	SPCG	SPACE (S) (ING) SPECIFICATION
CG	CORNER GUARD	JT		SQ	SQUARE
CHKBD CHAN	CHALKBOARD CHANNEL	KIP	THOUSAND POUND	SQ FT	SQUARE FOOT SQUARE FOOT
CI	CAST IRON	Κ	THOUSAND POUND	SQ IN	SQUARE INCH
CJ	CONTROL JOINT, CONTRACTION, CONSTRUCTION JOINT	KIT KO	KITCHEN KNOCKOUT	SS	STAINLESS STEEL STATION
£	CENTER LINE			STAG	STAGGERED
CTR	CENTER CEILING	L	ANGLE LEFT	STC	SOUND TRANSMISSION CLASS STANDARD
CL	CLOSET	LT	LAMINATION	STL	STEEL
CLR	CLEAR, CLEARANCE CONCRETE MASONRY UNIT	LAV	LAVATORY POUND	STOR	STORAGE STRUCTURAL
СО	CLEANOUT	LH	LEFT HAND		STRUCTURAL LINE
COL	COLUMN	LIQ		§ SURF SUSP	SURFACE
CONN	CONCRETE CONNECTION	LL LONG	LIVE LOAD LONGITUDINAL	SUSP SYMM	SUSPENDED SYMMETRICAL
CONSTR		LP			
CONT CONTR	CONTINUOUS (ATION) CONTRACTOR	LTG	LIGHTING LOUVER	T	TREAD TOP AND BOTTOM
CORR	CORRIDOR CERAMIC TILE	MACH	MACHINE	T&G T/O	TONGUE AND GROOVE TOP OF
01	CERAMIC TILE	MAINT	MACHINE MAINTENANCE	TEL	TELEPHONE
DBL	DOUBLE DECORATIVE CMU	MAS	MASONRY MATERIAL	TEMP TER	TEMPERATURE TERRAZZO
DEFS	DIRECT-APPLIED EXTERIOR FINISH	MAX	MAXIMUM	TOF	TOP OF FOOTING
DEMO	SYSTEM DEMOLISH (TION)	MECH	MECHANICAL MEMBRANE	TFA	TO FLOOR ABOVE TO FLOOR BELOW
DEPT	DEPARTMENT	MEZZ	MEZZANINE	TFF	TOP OF FINISH FLOOR
DET	DETAIL	MFG	MANUFACTURING	THK	THICKNESS
DTL	DETAIL DRINKING FOUNTAIN	MFR	MANUFACTURER MANHOLE	THRU	THRESHOLD THROUGH
DIA Ø	DIAMETER DIAMETER	MIN	MINIMUM MISCELLANEOUS	TV	TELEVISION TYPICAL
DIM	DIMENSION	ΜΟ	MASONRY OPENING	117	TTFICAL
DISP	DISPENSER DEAD LOAD	MTD	MOUNTED METAL	UNFIN	UNFINISHED UNLESS NOTED OTHERWISE
DN	DOWN	MULL	MULLION	UR	URINAL
DR	DRAIN DOWNSPOUT	Ν	NORTH	UTIL	UTILITY
DWG	DRAWING	NA	NOT APPLICABLE	VB	VAPOR BARRIER
DWR	DRAWER	NEG	NEGATIVE NOT IN CONTRACT	VCT	VINYL COMPOSITION TILE VERTICAL
≡	EAST	NO	NUMBER	VEST	VESTIBULE
EA	EACH EACH FACE	#	NUMBER NOMINAL	VOL	VOLUME VINYL WALL COVERING
EF EIFS	EXTERIOR INSULATION & FINISH	NS	NEAR SIDE (REINF.)		
EJ	SYSTEM EXPANSION JOINT	NTS	NOT TO SCALE	WEST W/	WEST WITH
EL	ELEVATION	1-CMU	SINGLE SCORE CMU	W/O	WITH WITHOUT
ELEV ELEC	ELEVATION ELECTRICAL	O/O	OUT TO OUT OVERALL	WD	WOOD WAINSCOT
ELEV	ELEVATOR	OC	ON CENTER	WT	WEIGHT
EMER ENGR	EMERGENCY ENGINEER	OD	OUTSIDE DIAMETER OFFICE	WTRPRF WWF	WATERPROOFING WELDED WIRE FABRIC
ENTR	ENTRANCE	OPNG	OPENING		
EPDM	ETHYLENE PROPYLENE DIENE	OPP	OPPOSITE OPTIONAL	YCO	YARD CLEANOUT YARD DRAIN
EPS	MONOMER EXTERIOR PAINT SYSTEM	ORD	OVERFLOW ROOF DRAIN	YD YH	YARD DRAIN YARD HYDRANT
EQ EQUIP	EQUAL EQUIPMENT	OWJ	OPEN WEB JOIST OUNCE		
ES	EXPOSED STRUCTURE				
EWC EWC-HC	ELECTRIC WATER COOLER	PAR	PARALLEL POUNDS PER CUBIC FOOT		
	HANDICAP ACCESSIBLE	PERF	PERFORATED		
EXH EXP	EXHAUST EXPANSION	PERIM PERM	PERIMETER PERMANENT		
EXP BT	EXPANSION BOLT	PERP	PERPENDICULAR		
EXIST, (E) EXT	EXISTING	PL	PLATE		
		PLBG	PLUMBING		
=D	FLOOR DRAIN	PLYWD	PLYWOOD		
=E	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET	PORT	PNEUMATIC PORTABLE		
FFA	FROM FLOOR ABOVE	POS	POSITIVE		
=/F	FACE TO FACE FROM FLOOR BELOW	PR	PAIR PREFABRICATED		
-HC	FIRE HOSE CABINET	PREFIN	PREFINISHED		
FIN	FINISH FLOOR (ING)	PRELIM PREP	PRELIMINARY PREPARATION		
LUOR	FLUORESCENT	PRESS	PRESSURE		
FNDN	FOUNDATION FRAME	PROJ	PROJECT PROPERTY		
FS	FAR SIDE (REINF.)	PSI	POUNDS PER SQUARE INCH		
FT	FOOT FOOT	PT	POINT PAINTED		
-TG	FOOTING	PNTD	PAINTED		
FV	FIELD VERIFY	PVC	POLYVINYL CHLORIDE PAVEMENT		
GA	GAGE				
GAL	GALLON GALVANIZED	QT	QUARRY TILE		

I

2

I

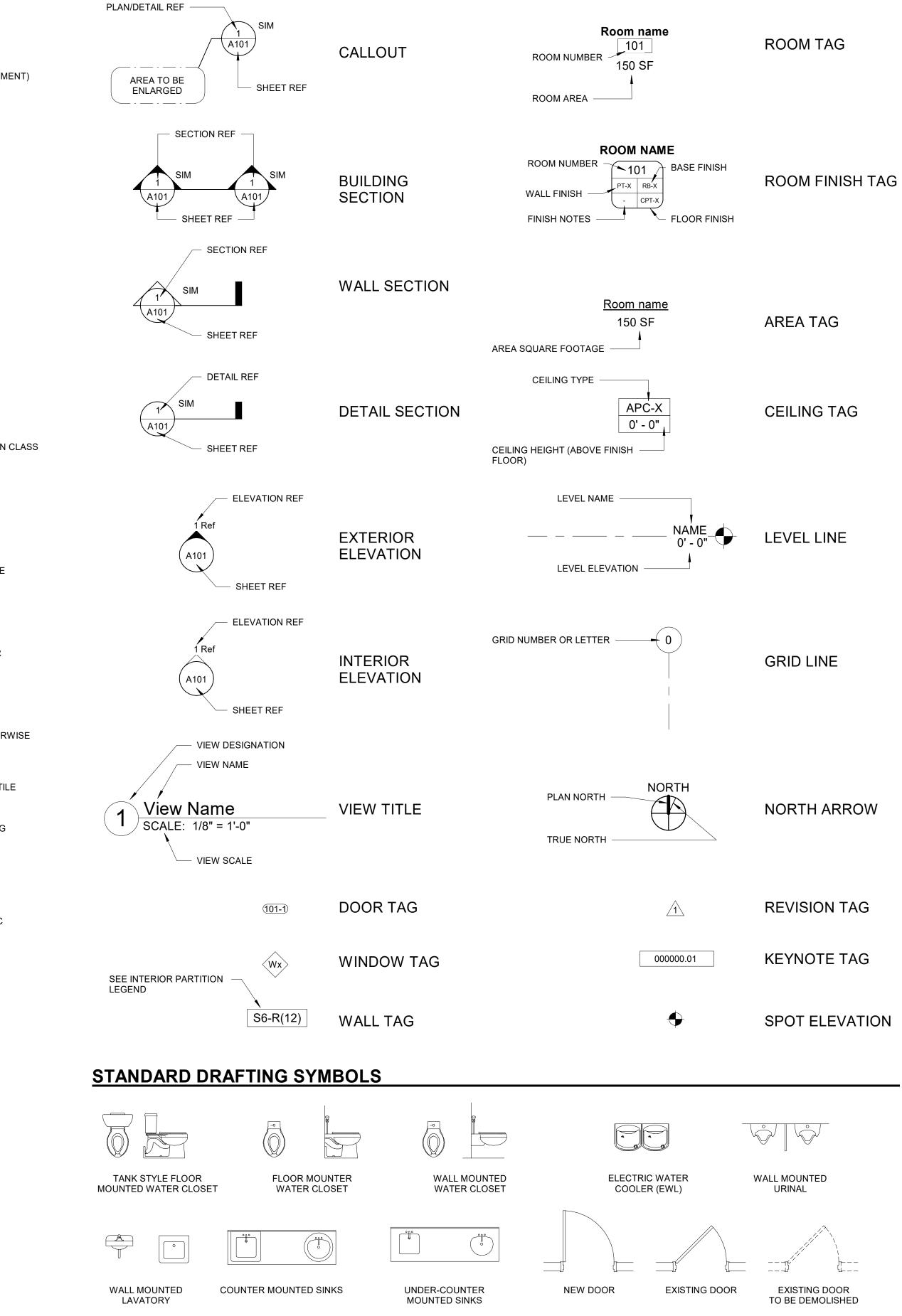
I

GALLON GALV GALVANIZED

I

STANDARD DETAILING SYMBOLS:

3



I

1

- I



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515

BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

GENERAL INFORMATION

REV #	DATE	DESCRIPTION
	DATE	
DATE:		07/22/2024

07/22/2024

PROJECT NO.	24003

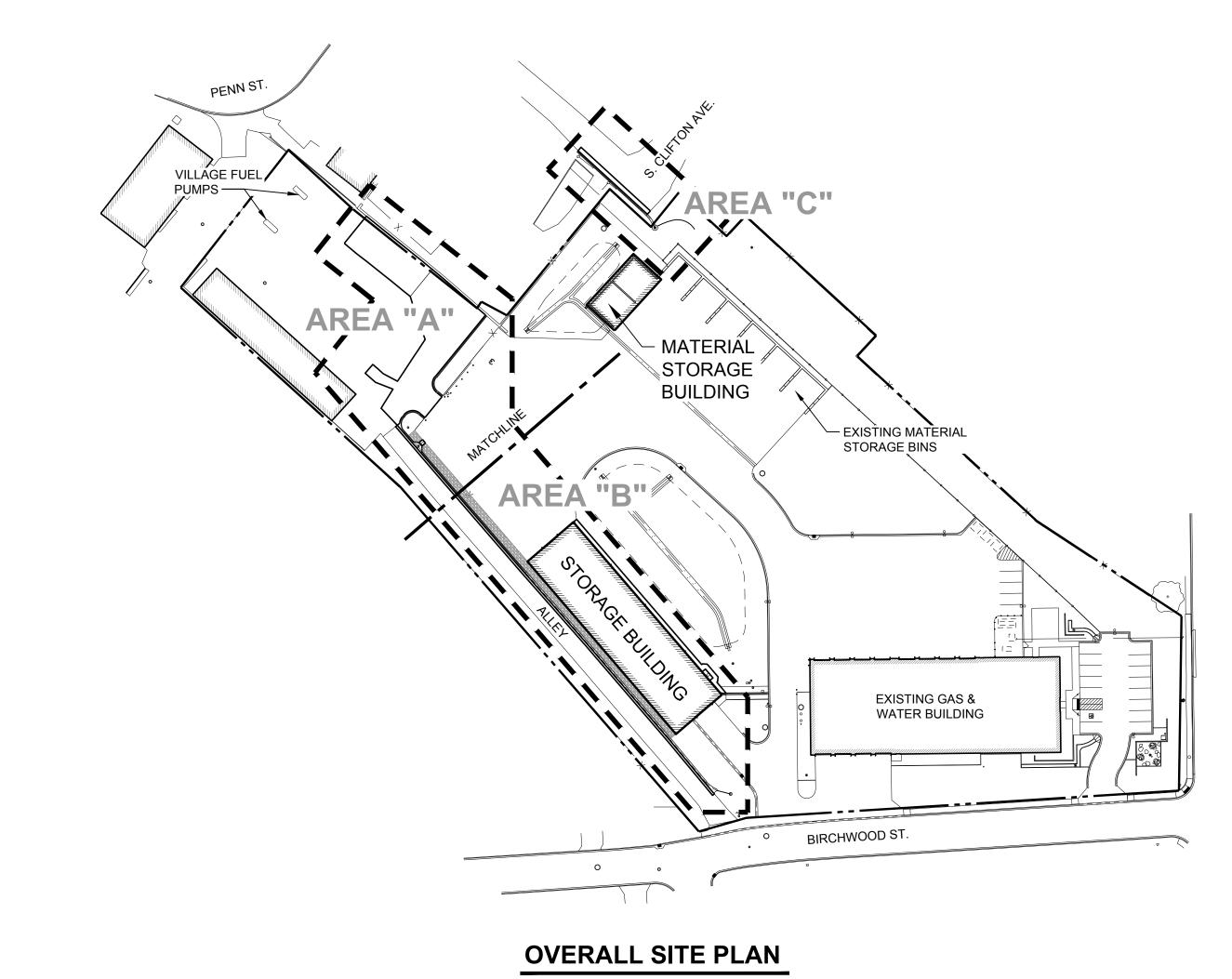
G-101

SHEET NUMBER

L

5

4



2

1

1

Г

С

_

В

А

L

SCALE: 1" = 80'-0"

I.



1

4

- FEES ASSOCIATED WITH THE PERMITS.
- SHOWN.
- REPRESENTATIVE.
- CONTAINED IN THE CONTRACT DOCUMENTS.

LIST OF IDOT STANDARDS

HIGHWAY	STANDARDS
000001-07	STANDARD S
001001-02	AREAS OF R
001006	DECIMAL OF
420001-09	PAVEMENT J
420111-04	PCC PAVEME
424001-11	PERPENDICU
606001-07	CONCRETE (
606201	GUTTER, TYI
701901-08	TRAFFIC CO

1

725	_	NEW CONTOUR				
725	_	EXISTING CONTOUR				
N 10000.00 E 12000.00	_	COORDINATE LAYOUT POINT				
725.25 x	-	SPOT GRADE				
	_	EXISTING INLET				
X	_	EXISTING LIGHT POLE				
	_	EXISTING SIGN				
Y	_	EXISTING FIRE HYDRANT				
\otimes	_	EXISTING VALVE				
\bigcirc	-	EXISTING MANHOLE				
*	_	EXPANSION JOINT				
*	_	CONTRACTION JOINT				
725.30 — x	-	SURFACE ELEVATION				

1

LEGEND

ADJUST JOINTS AS NECESSARY TO ALIGN WITH OTHER JOINTS AND EDGE BREAKS.

ABBREVIATIONS

3

I

Т

AGG.	_	AGGREGATE
B/C	_	BACK OF CURB
BIT.	_	BITUMINOUS
မု	_	CENTERLINE
CONC.	_	CONCRETE
CP	_	CONTROL POINT
E.O.P.	—	EDGE OF PAVEMENT
EXIST.	—	EXISTING
E.J.	—	EXPANSION JOINT
-~>	—	FLOW ARROW
H.P.	—	HIGH POINT
IDOT	_	ILLINOIS DEPARTMENT OF TRANSPORTATION
MIN.	_	MINIMUM
N.I.C.	_	NOT INCLUDED IN CONTRACT
N.T.S.	_	NOT TO SCALE
P.C.C.	_	PORTLAND CEMENT CONCRETE
SS	—	STORM SEWER
T/C	—	TOP OF CURB
TY.	_	TYPE
TYP.	_	TYPICAL
DIA.	_	DIAMETER
INV	—	INVERT
LF	—	LINEAL FEET
FT	—	FEET
ELEV.	—	ELEVATION
O.C.	_	ON CENTER
HP	_	HIGH POINT
FL	_	FLOW LINE
MID	—	MID POINT
P.R.C.	—	POINT OF REVERSE CURVE
P.C.C.	—	POINT OF COMPOUND CURVE
P.T.	—	POINT OF TANGENT
P.C.	_	POINT OF CURVE
HMA	—	HOT-MIX ASPHALT

1. THE TERM "OWNER" REFERENCED THROUGHOUT THE CIVIL PLANS AND SPECIFICATIONS / SPECIAL PROVISIONS IS DEFINED AS THE VILLAGE OF MORTON.

5

2. THE TERM "CITY" OR "VILLAGE" REFERENCED THROUGHOUT THE CIVIL PLANS AND SPECIFICATIONS / SPECIAL PROVISIONS IS DEFINED AS THE VILLAGE OF MORTON.

3. PRIOR TO THE BEGINNING OF THE PROJECT, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND DIMENSIONS SHOWN AND SHALL REPORT TO OWNER AND ENGINEER ANY DISCREPANCIES WHICH MAY AFFECT THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.

4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL (VILLAGE) PERMITS AND

5. CONTRACTORS BIDDING THIS PROJECT SHALL VISIT THE SITE BEFORE BIDDING.

6. ALL SECTIONS, DETAILS, AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE, UNLESS OTHERWISE

7. ADJUSTMENT OF PROPOSED GRADES TO MATCH EXISTING FIELD CONDITIONS MAY BE REQUIRED AS DIRECTED BY THE OWNER, ENGINEER, AND/OR THE OWNER'S

8. WHEN CONCRETE IS PLACED ABUTTING STRUCTURES, FOUNDATIONS OR EXISTING SIDEWALKS, A BOND BREAKER CONSISTING OF 1" P.J.F. AND ELASTOMERIC JOINT SEALANT SHALL BE USED FULL DEPTH UNLESS OTHERWISE NOTED.

9. ALL SIGNS, TRAFFIC CONTROL DEVICES, ETC. SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS - CURRENT EDITION, THE APPLICABLE GUIDELINES IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - CURRENT EDITION, THE APPLICABLE GUIDELINES IN THE ILLINOIS MANUAL ON TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS - CURRENT EDITION, THE SPECIAL PROVISIONS, ANY SPECIAL DETAILS, AND ILLINOIS DEPARTMENT OF TRANSPORTATION HIGHWAY STANDARDS

SYMBOLS, ABBREVIATIONS AND PATTERNS REINFORCEMENT BARS F AN INCH AND OF A FOOT

JOINTS

IENT ROUNDOUTS

ULAR CURB RAMPS FOR SIDEWALKS

CURB, TYPE B AND COMBINATION CONCRETE CURB AND GUTTER YPE B INLET, OUTLET, AND ENTRANCES ONTROL DEVICES



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



Chamlin & Associates ENGINEERS - SURVEYORS - PLANNERS 219 S. MAIN ST. - MORTON, IL 61550 309.291.3577 - www.Chamlin.com



BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

GENERAL NOTES, LEGEND, AND OVERALL SITE PLAN

DATE:

07/22/2024

24003

SHEET NUMBER

PROJECT NO.

C-100

GENERAL:

ALL WORK, UNLESS OTHERWISE MODIFIED BY THE SPECIAL PROVISIONS AND/OR THE PLANS, SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE VILLAGE OF MORTON'S SUBDIVISION CONSTRUCTION DETAILS AND STANDARDS, THE APPLICABLE SECTIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (HEREIN AFTER REFERRED TO AS STANDARD SPECIFICATIONS) ADOPTED JANUARY 1, 2022 AND SUPPLEMENTAL SPECIFICATION (HEREIN AFTER REFERRED TO AS SUPPLEMENTAL SPECIFICATIONS) ADOPTED JANUARY 1, 2024, UNLESS NOTED OTHERWISE. WITHIN THE STANDARD SPECIFICATIONS, ARTICLES 105.01, 105.09, 105.10, 105.11, 105.12, 105.13, AND SECTION 109 SHALL NOT BE INCORPORATED INTO THIS CONTRACT.

1

ALL REFERENCES TO THE "DEPARTMENT" OR "ENGINEER" IN THE STANDARD SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS SHALL BE CONSTRUED TO MEAN THE VILLAGE OF MORTON OR THE VILLAGE'S REPRESENTATIVE, IF APPLICABLE. REFERENCES TO "INSPECTION" OF "INSPECTOR" IN THE STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND SPECIFICATIONS/SPECIAL PROVISIONS SHALL NOT CREATE, IMPOSE, OR GIVE RISE TO ANY DUTY OWED BY THE VILLAGE OF MORTON, VILLAGE'S REPRESENTATIVE, IF APPLICABLE, AND CHAMLIN & ASSOCIATES, INC., TO THE CONTRACTOR, ANY SUBCONTRACTOR, AND ANY SUPPLIER.

PLANS, SPECIFICATIONS, AND/OR SPECIAL PROVISIONS:

IF THERE IS A CONFLICT BETWEEN THE PLANS, SPECIFICATIONS, AND/OR SPECIAL PROVISIONS, THE MORE STRINGENT AS DETERMINED BY THE VILLAGE SHALL APPLY.

CONSTRUCTION LAYOUT AND STAKING:

THE CONTRACTOR SHALL PROVIDE CONSTRUCTION LAYOUT AND STAKING OF THE SITE WORK BASED ON GRADES AND HORIZONTAL LOCATIONS SHOWN ON THE PLANS. A CAD FILE WILL BE PROVIDED TO THE CONTRACTOR PRIOR TO CONSTRUCTION.

J.U.L.I.E. SYSTEM

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITY PROPERTY FROM CONSTRUCTION OPERATIONS AS OUTLINED IN ARTICLE 107.31 OF THE STANDARD SPECIFICATIONS. THE J.U.L.I.E. NUMBER IS 800-892-0123. A MINIMUM OF FORTY-EIGHT (48) ADVANCE NOTICE IS REQUIRED. THE FOLLOWING INFORMATION MAY BE REQUESTED BY J.U.L.I.E.:

KNOWN UTILITIES

NO ADDITIONAL COMPENSATION SHALL BE GRANTED FOR EXTRA WORK OR DELAY RESULTING FROM A KNOWN UTILITY. ALL UTILITIES SHALL BE CONSIDERED KNOWN UNLESS THEY MEET THE DEFINITION OF AN UNKNOWN UTILITY. AN UNKNOWN UTILITY IS DEFINED AS AN ACTIVE OR INACTIVE UNDERGROUND UTILITY. WHICH IS NEITHER IDENTIFIED ON THE CONTRACT DOCUMENTS; NOR IDENTIFIED THROUGH THE J.U.L.I.E. SYSTEM. SERVICE CONNECTIONS SHALL NOT BE CONSIDERED UNKNOWN UTILITIES.

EXISTING UNDERGROUND FACILITIES:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL USE A SUBCONSULTANT, IF NECESSARY, TO LOCATE ALL UNDERGROUND UTILITIES. THE VILLAGE AND MIDWEST ENGINEERING ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE PRESENCE, SPECIFIC SIZE OR LOCATION OF ANY UNDERGROUND UTILITIES. DAMAGED UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE CURRENT AND/OR FUTURE OWNER OF THE UNDERGROUND UTILITY. NO RESPONSIBILITY FOR THE PROTECTION OF SAID UNDERGROUND SYSTEMS WILL BE ASSUMED BY THE VILLAGE OR THE ENGINEER.

EXCEPT WHERE DESIGNATED OTHERWISE. THE LOCATIONS AND/OR DEPTHS OF UNDERGROUND UTILITIES SHOWN HAVE BEEN TAKEN FROM THE BEST AVAILABLE INFORMATION AND MUST BE CONSIDERED APPROXIMATE.

THE COST TO REPAIR DAMAGED UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR THE CONTRACTOR TO LOCATE THE UTILITIES AND FOR THE CONTRACTOR TO UNCOVER AND/OR HAND DIG AROUND EXISTING UTILITIES.

KEEPING ROADS OPEN TO TRAFFIC:

THE CONTRACTOR SHALL KEEP ALL VILLAGE STREETS (INCLUDING THE ALLEY) OPEN AT ALL TIMES EXCEPT AS NEEDED TO PERFORM PROPOSED IMPROVEMENTS. CLOSURES SHALL BE COORDINATED A MINIMUM OF TWO WEEKS IN ADVANCE WITH THE VILLAGE.

BARRIERS, BARRICADES, STREET FIXTURES, TEMPORARY PARTITIONS:

- BARRICADES, TEMPORARY PARTITIONS AND BARRIERS SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR AS REQUIRED PURSUANT TO THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL MAINTAIN, AT ALL TIMES, A MEANS FOR SIDEWALK/ PEDESTRIAN TRAFFIC TO DETOUR THE JOB.
- ONLY SIGNS, BARRICADES, VERTICAL PANELS, DRUMS AND CONES MEETING THE REQUIREMENTS OF THE LATEST EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S "QUALITY STANDARD FOR WORK ZONE TRAFFIC CONTROL DEVICES" AND/OR THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION SHALL BE USED (WHICHEVER IS THE MOST STRINGENT). COMPLIANCE IS CONSIDERED A CONDITION OF THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL AUTHORITIES FOR OBSTRUCTION OR USE OF PUBLIC ROADS DURING CONSTRUCTION.
- STREET FIXTURES: THE CONTRACTOR SHALL ARRANGE, PRIOR TO THE ERECTION OF BARRICADES AND BARRIERS, WITH THE APPROPRIATE AUTHORITIES AND UTILITY COMPANIES, FOR TEMPORARY RELOCATION OF ALL STREET FIXTURES THAT MAY BE AFFECTED BY BARRICADE LOCATIONS OR CONSTRUCTION OPERATIONS, INCLUDING TRAFFIC SIGNALS AND SIGNS, PARKING METERS, STREET LIGHTS ACCESS PANELS, HYDRANTS AND THE LIKE.

ALL PRESENT UTILITIES IN STREETS AND ALLEYS ARE TO BE PROTECTED AND MAINTAINED IN CONTINUOUS AND UNINTERRUPTED USE, UNLESS OTHERWISE SHOWN TO BE MODIFIED OR RELOCATED.

CONSTRUCTION LIMIT LINES

THE CONTRACTOR SHALL LIMIT HIS/HER AREA OF ACTIVITY TO THE IMMEDIATE AREA OF THE WORK AS INDICATED BY THE CONSTRUCTION DRAWINGS, EXCEPT WHERE SPECIFICALLY REQUIRED BEYOND THE CONSTRUCTION LIMIT LINES BY THE CONTRACT DOCUMENTS FOR THE PERFORMANCE OF THE WORK

CLEANING

 THE CONTRACTOR SHALL BE RESPONSIBLE DURING CONSTRUCTION FOR THE PROTECTION AND CLEANING OF ALL WORK UNDER THE CONTRACT, UNTIL FINAL COMPLETION AND ACCEPTANCE THEREOF, UNLESS AN EARLIER DATE IS AGREED UPON

- THE CONTRACTOR SHALL PROVIDE REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS FROM THE SITE AT A MINIMUM OF A DAILY BASIS.
- THE CONTRACTOR SHALL KEEP ALL PAVED SURFACES CLEAR OF MUD, DIRT AND DEBRIS DURING CONSTRUCTION. CLEANING SHALL BE DONE IN AN ACCEPTABLE MANNER AS REQUESTED BY THE VILLAGE, WITH EQUIPMENT THAT DOES NOT DAMAGE THE EXISTING PAVEMENT.
- ALL PAVED SURFACES SHALL BE SWEPT TO THE SATISFACTION OF THE VILLAGE AT THE END OF EACH WORKING DAY. THE LIMITS OF THE SWEEPING SHALL BE DETERMINED BY THE VILLAGE. THE TYPE OF STREET SWEEPING MACHINE SHALL BE A MOTORIZED VEHICLE SIMILAR TO WHAT IS USED TO CLEAN/SWEEP VILLAGE STREETS.

EROSION CONTROL

THIS WORK SHALL CONSIST OF CONSTRUCTING, INSPECTING, AND MAINTAINING TEMPORARY EROSION CONTROL SYSTEMS CONFORMING TO THE REQUIREMENTS OF THE PLANS AND DETAILS. THIS WORK SHALL ALSO CONSIST OF THE CONTRACTOR PROVIDING ALL MATERIALS, EQUIPMENT, AND LABOR TO MEET THE REQUIREMENTS IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THIS INCLUDES THE CONTRACTOR PERFORMING THE INSPECTION OF THE EROSION CONTROL SYSTEM BY QUALIFIED PERSONNEL AS REQUIRED BY THE SWPPP AND SUBMITTING INSPECTION REPORTS IN ACCORDANCE WITH THE SWPPP. THE TEMPORARY EROSION CONTROL SYSTEMS SHALL CONTROL EROSION AND SEDIMENT DAMAGE TO THE PROJECT, ADJACENT PROPERTIES, AND WATER RESOURCES. THE USE OF STRAW BALES WILL NOT BE PERMITTED.

PRIOR TO BEGINNING ANY WORK ON THE SITE, CONTRACTOR SHALL UPDATE THE NOTICE OF INTENT FOR GENERAL PERMIT TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION AND SITE ACTIVITIES (NOI) THROUGH THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) BY PROVIDING THE IEPA WITH THE CONTRACTOR'S INFORMATION THAT WILL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING THE PROJECT'S EROSION CONTROL SYSTEMS AND THE CONTRACTOR'S INSPECTOR'S INFORMATION THAT WILL BE RESPONSIBLE FOR INSPECTING THE PROJECT'S EROSION CONTROL SYSTEMS IN ACCORDANCE WITH THIS SPECIAL PROVISIONS, THE EROSION CONTROL PLAN(S) AND THE SWPPP.

A BEST MANAGEMENT PRACTICE SHALL BE USED TO CONTROL EROSION FROM THE CONSTRUCTION SITE. THESE PRACTICES SHALL MEET OR EXCEED STANDARDS AS DETAILED IN THE 2010 ILLINOIS URBAN MANUAL - (HTTP://AISWCD.ORG/IUM/INDEX.HTML). IF THE EROSION CONTROL SYSTEMS DETAILED IN THE CONTRACT DOCUMENTS DO NOT MEET BEST MANAGEMENT PRACTICES GIVEN SPECIFIC SITE CONDITIONS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT OR INSTALL ADDITIONAL EROSION CONTROL SYSTEMS

THE FOLLOWING SYSTEMS SHALL BE INCLUDED IN THE EROSION CONTROL, COMPLETE WORK

- 1. PERIMETER EROSION BARRIER (SILT FENCE)
- 2. INLET FILTER PROTECTION
- 3. TEMPORARY CONCRETE WASHOUT FACILITIES
- 4. ONGOING MAINTENANCE OF EROSION CONTROL ITEMS

ANY ADDITIONAL WORK REQUIRED FOR THE CORRECTION OR ADDITION OF TEMPORARY EROSION CONTROL ITEMS SHALL BE APPROVED OF BY THE OWNER IN ADVANCE OF THE INSTALLATION OF THE EROSION CONTROL SYSTEM.

THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL SYSTEMS UPON PERMANENT STABILIZATION OF ALL DISTURBED AREAS. AREAS DISTURBED BY THE REMOVAL OF THE TEMPORARY EROSION CONTROL SYSTEMS SHALL BE GRADED AND VEGETATED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

UPON THE ESTABLISHMENT OF PERMANENT STABILIZATION, THE CONTRACTOR SHALL REMOVE SEDIMENT AND DETRITUS MATERIALS FROM PERMANENT EROSION CONTROL MEASURES. AREAS DISTURBED BY THE REMOVAL OF SEDIMENT AND DETRITUS MATERIALS FROM PERMANENT EROSION CONTROL MEASURES SHALL BE RESTORED TO THE LINES AND GRADES ON THE PLANS AND VEGETATED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

MATERIALS TESTING

THE CONTRACTOR SHALL EMPLOY A MATERIALS TESTING COMPANY WITH A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF ILLINOIS TO PROVIDE QUALITY CONTROL THAT THE FOLLOWING ITEMS MEET THE CONTRACT DOCUMENTS MINIMUM REQUIREMENTS:

- SUBGRADE PREPARATION AND COMPACTION
- CAST-IN-PLACE AND POURED IN PLACE CONCRETE
- HOT-MIX ASPHALT AGGREGATE BASE COURSE
- SUB-BASE GRANULAR MATERIALS
- TOPSOIL
- SEEDING

THE MATERIALS TESTING COMPANY SHALL ALSO BE RESPONSIBLE FOR PROVIDING WRITTEN DOCUMENTATION CERTIFYING THE PROJECT IN ITS ENTIRETY WAS CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THE RESULTS OF THE QUALITY CONTROL SHALL BE SUBMITTED IN A FORMAT IDENTICAL TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) WHEN APPLICABLE AND THE RESULTS SHALL BE SUBMITTED TO THE ENGINEER IN ELECTRONIC (PDF) FORMAT WITHIN TWO WEEKS. THE FREQUENCY OF MATERIAL TESTING AND THE TESTING OF MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT IDOT MANUALS, POLICIES, AND PROCEDURES.

EARTHWORK, COMPLETE:

THIS WORK SHALL CONSIST OF STRIPPING THE VEGETATION, IF APPLICABLE EMBANKMENT, EXCAVATION AND TRANSPORTATION OF ALL EARTHWORK SUCH THAT THE TOP SURFACE ELEVATION MEET THE LINES AND GRADES INDICATED IN THE PLANS.

REFER TO EXISTING CONDITIONS PLANS FOR EXISTING MATERIAL PILES AND REMOVAL OF EXCESS EXCAVATED MATERIALS.

THIS WORK SHALL CONFORM TO SECTIONS 202 AND 205 OF THE STANDARD SPECIFICATIONS. EMBANKMENT SHALL CONFORM TO THE DENSITY REQUIREMENTS OUTLINED IN SECTION 205.06 OF THE STANDARD SPECIFICATIONS EXCEPT ALL LIFTS SHALL BE COMPACTED TO 95 PERCENT OF THE STANDARD LABORATORY DENSITY.

REVISE THE THIRD PARAGRAPH OF ARTICLE 205.06 OF THE STANDARD SPECIFICATIONS TO READ: ALL EMBANKMENT CONSTRUCTED OF COHESIVE SOIL SHALL BE CONSTRUCTED WITH NOT MORE THAN 110% OF OPTIMUM MOISTURE CONTENT, DETERMINED BY THE STANDARD PROCTOR TEST. COHESIVE SOIL SHALL BE DEFINED AS ANY SOIL WHICH CONTAINS GREATER THAN 10% OF PARTICLES BY WEIGHT PASSING THE #200 SIEVE. THE 110% OF OPTIMUM MOISTURE LIMIT MAY BE WAIVED IN FREE DRAINING GRANULAR MATERIAL WHEN APPROVED BY THE OWNER. THE CONTRACTOR MAY, AT THEIR OPTION, ADD A DRYING AGENT TO LOWER THE MOISTURE CONTENT AS SPECIFIED ABOVE. THE DRYING AGENT MUST BE APPROVED BY THE OWNER PRIOR TO USE. EXTRA COMPENSATION WILL NOT BE ALLOWED FOR THE USE OF A DRYING AGENT BUT WILL BE CONSIDERED INCLUDED IN THE COST OF EARTH EXCAVATION.

CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND EXCAVATING AROUND THE UTILITIES WITH APPURTENANCES AT THE SURFACE (MANHOLES, INLETS, INLET-MANHOLES, FRAMES AND LIDS, VALVE VAULTS/BOXES, CABINETS, FIRE HYDRANTS, CLEANOUTS, ETC.)

NO ADDITIONAL COMPENSATION WILL BE ALLOWED TO REPROCESS AND RECOMPACT PREVIOUSLY APPROVED SUBGRADE AND PREVIOUSLY APPROVED AGGREGATE BASE COURSE. REPROCESSING AND RECOMPACTION SHALL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

SUBGRADE:

1

ALL PAVEMENT, CONC. CURB AND GUTTER, AND GUTTER SHALL BE PREPARED IN ACCORDANCE WITH ARTICLE 301 OF THE STANDARD SPECIFICATIONS.

CONCRETE CURE/SEALANT:

THIS WORK SHALL BE ACCORDING TO SECTION 587 OF THE STANDARD SPECIFICATIONS EXCEPT AS MODIFIED HEREIN:

THE CONCRETE CURE/SEALANT SHALL BE APPLIED WITHIN 10 MINUTES AFTER ALL FINISHING WORK TO THE CONCRETE SURFACE HAS BEEN COMPLETED.

THE APPLICATION RATE AND TYPE OF EQUIPMENT REQUIRED TO APPLY THE CONCRETE CURE/SEALANT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

THE CONCRETE CURE/SEALANT SEALER SHALL BE CHEMMASTERS SILENCURE SRT OR EQUAL APPROVED IN WRITING BY THE VILLAGE. THE CONCRETE CURE/SEALANT SHALL BE APPLIED TO ALL CONCRETE PAVEMENT, CONCRETE SIDEWALK, COMBINATION CONCRETE CURB AND GUTTER, AND CONCRETE CURB, IF APPLICABLE, UNLESS DIRECTED OTHERWISE BY THE VILLAGE.

AGGREGATE BASE COURSE, TYPE B (CRUSHED LIMESTONE):

THIS ITEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 351 OF THE STANDARD SPECIFICATIONS EXCEPT: THE COURSE AGGREGATE SHALL CONSIST OF A CRUSHED LIMESTONE AND THE ALLOWABLE AMOUNT OF MATERIAL PASSING THE #200 SHALL BE LESS THAN EIGHT PERCENT (8%) OF THE MATERIAL SAMPLE AS MEASURED BY WEIGHT.

THE CONTRACTOR MAY USE THE CAM-6 MATERIAL STORED AT THE MATERIAL STORAGE AREA AT THE WASTEWATER TREATMENT PLANT ON SOUTH FOURTH STREET IN LIEU OF CRUSHED LIMESTONE FOR THE AGGREGATE BASE COURSE UNDER PAVEMENT AND SIDEWALK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOADING AND TRANSPORTING OF MATERIAL.

COMBINATION CONCRETE CURB & GUTTER AND TYPE B GUTTER:

THE WORK INCLUDED IN THIS SPECIAL PROVISION SHALL INCLUDE ALL LABOR EQUIPMENT, AND MATERIALS REQUIRED TO CONSTRUCT THE COMBINATION CONCRETE CURB & GUTTER AND TYPE B GUTTER AT THE LOCATIONS INDICATED IN THE PLANS. THE COMBINATION CONCRETE CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 606 OF THE STANDARD SPECIFICATIONS EXCEPT: THE CONCRETE'S COURSE AGGREGATE SHALL CONSIST OF CRUSHED LIMESTONE. TIE BARS (EPOXY COATED):

THE EPOXY COATED TIE BARS SHALL BE IN ACCORDANCE WITH SECTIONS 508, 606, 420 AND 1006.11 OF THE STANDARD SPECIFICATIONS.

IF THE TIE BARS ARE INSTALLED VIA DRILLING, THEN THEY WILL NEED TO BE CHEMICALLY ADHERED TO THE CONCRETE IS IMMEDIATELY PRIOR TO APPLYING THE CHEMICAL ADHESIVE AND INSERTING THE TIE BARS, THE HOLES SHALL BE THE ROUGHLY CLEANED OF DRILLING DEBRIS. DUST AND DEBRIS SHALL BE BLOWN FROM THE HOLE WITH A POWER BRUSH/BLOWER OR WITH COMPRESSED AIR. IF COMPRESSED AIR IS USED, THE PNEUMATIC TOOL LUBRICATOR SHALL BE BYPASSED AND A FILTER INSTALLED ON THE DISCHARGE VALVE TO KEEP WATER AND OIL OUT OF THE LINES. THE TIE BARS SHALL BE CLEAN AND FREE FROM RUST.

AN APPROVED CHEMICAL ADHESIVE SHALL BE USED AS THE ANCHORING MATERIAL FOR TIE BARS. THE CHEMICAL ADHESIVE SHALL BE IN ACCORDANCE WITH SECTION 1027 OF THE STANDARD SPECIFICATIONS.

THE CHEMICAL ADHESIVE SHALL BE OF A CONSISTENCY SUCH THAT THE TIE BAR MAY BE EASILY INSERTED INTO THE HOLE WITH FLOW COMPLETELY SURROUNDING THE TIE BAR, AND WITHOUT APPRECIABLE RUNOUT OF CHEMICAL ADHESIVE AFTER THE BAR IS FULLY INSERTED. THE CHEMICAL ADHESIVE SHALL BE INJECTED TO THE BACK OF THE HOLE TO ELIMINATE AIR POCKETS PRIOR TO INSERTING THE BAR. THE QUANTITY OF MATERIAL USED SHALL BE SUCH THAT THE CHEMICAL ADHESIVE IS DISPENSED ALONG THE ENTIRE LENGTH OF THE BAR AND VOIDS ARE COMPLETELY FILLED. AFTER THE MATERIAL HAS BEEN POSITIONED AT THE BACK OF THE HOLE. THE TIE BAR SHALL BE FULLY INSERTED. USING A BACK-AND-FORTH TWISTING MOTION, LEAVING THE PROPER LENGTH EXPOSED AS SHOWN ON THE PLANS. IF IT IS NECESSARY TO USE A HAMMER TO AID IN SEATING A TIE BAR, THE EXPOSED END OF THE TIE BAR SHALL BE PROTECTED WITH A WOOD BLOCK.

TEMPORARY CONCRETE WASHOUT FACILITIES:

PURPOSE: TEMPORARY CONCRETE WASHOUT FACILITIES ARE USED TO CONTAIN CONCRETE LIQUIDS WHEN THE CHUTES OF CONCRETE TRUCKS ARE RINSED OUT AFTER DELIVERY OF CONCRETE TO THE CONSTRUCTION SITE. THESE WASHOUT FACILITIES FUNCTION TO CONSOLIDATE SOLIDS FOR DISPOSAL AND PREVENT RUNOFF LIQUIDS ASSOCIATED WITH CONCRETE. FAILURE TO COMPLY WITH APPROPRIATE WASHOUT LOCATION REQUIREMENTS WILL RESULT IN MONETARY DEFICIENCY DEDUCTION AGAINST THE CONTRACTOR.

IMPLEMENTATION:

- THE CONTRACTOR MUST SUBMIT A PLAN OF HIS/HER PROPOSED TEMPORARY CONCRETE WASHOUT FACILITY TO THE OWNER AND/OR OWNER'S REPRESENTATIVE FOR HIS/HER APPROVAL AT LEAST 10 DAYS PRIOR TO THE FIRST CONCRETE POUR.
- TEMPORARY CONCRETE WASHOUT FACILITIES ARE TO BE IN PLACE BEFORE ANY DELIVERY OF CONCRETE TO THE CONSTRUCTION SITE.
- TEMPORARY CONCRETE WASHOUT FACILITIES ARE TO BE LOCATED AT LEAST 50 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, OR WATER BODIES. EACH FACILITY IS TO BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
- A SIGN IS TO BE INSTALLED ADJACENT TO EACH TEMPORARY CONCRETE WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS OF THE DESIGNATED WASHOUT FACILITY.

TWO TYPES OF TEMPORARY CONCRETE WASHOUTS ARE AVAILABLE FOR USE ON IDOT CONSTRUCTION PROJECTS:

- PREFABRICATED PORTABLE FACILITIES VARIOUS PRODUCTS ARE NOW BEING MARKETED SPECIFICALLY FOR THIS PURPOSE.
- NON-PORTABLE FACILITIES ABOVE GRADE 3/4 CONSTRUCTED USING STRAW BALES OR A WOOD FRAME, AND POLYETHYLENE SHEETING. 3/4 STRAW BALES OR WOOD FRAMES ARE USED TO CREATE A BERM THEN LINED WITH A SINGLE SHEET OF 10-MIL POLYETHYLENE SHEETING WHICH IS FREE OF HOLES, TEARS, OR OTHER DEFECTS WHICH MAY COMPROMISE THE IMPERMEABILITY OF THE MATERIAL. 3/4 SHEETING MUST EXTEND OVER THE ENTIRE BASIN AND BERM TO PREVENT ESCAPE OF DISCHARGE. BELOW GRADE 3/4 CONSTRUCTED VIA EXCAVATION AND THE USE OF POLYETHYLENE SHEETING AND SANDBAGS. 3/4 A PIT IS FIRST EXCAVATED IN A DESIGNATED LOCATION AND THEN LINED WITH A SINGLE SHEET OF 10-MIL POLYETHYLENE SHEETING WHICH IS FREE OF HOLES. TEARS, OR OTHER DEFECTS WHICH MAY COMPROMISE THE IMPERMEABILITY OF THE MATERIAL. 3/4 SAND BAGS ARE THEN TO HOLD THE SHEETING IN PLACE.

INSPECTION/MAINTENANCE/REMOVAL:

- TEMPORARY CONCRETE WASHOUT FACILITIES ARE TO BE INSPECTED BY THE CONTRACTOR DURING HIS/HER WEEKLY EROSION AND SEDIMENT CONTROL INSPECTION, AFTER A STORM EVENT OF 1/2" OR GREATER AND AT THE END OF ANY DAY WHEN CONCRETE HAS BEEN POURED ON THE CONSTRUCTION SITE. THE INSPECTOR IS TO ENSURE THAT THERE ARE NO LEAKS, NO SPILLS AND THAT THE FACILITIES CAPACITY HAS NOT YET BEEN COMPROMISED.
- ANY OVERFLOWING OF THE WASHOUT FACILITIES ONTO THE GROUND MUST BE CLEANED UP AND REMOVED WITHIN 24 HOURS OF DISCOVERY.
- IF A RAIN OR SNOW EVENT IS FORECASTED, A NON-COLLAPSING, NON-WATER COLLECTING COVER SHALL BE PLACED OVER THE WASHOUT FACILITY AND SECURED TO PREVENT ACCUMULATION AND OVERFLOW OF PRECIPITATION. CONTENTS OF EACH CONCRETE WASHOUT FACILITY ARE NOT TO EXCEED 75% OF ITS DESIGNED CAPACITY. IF THE CONTENTS REACH 75% CAPACITY, DISCONTINUE POURING CONCRETE INTO THE FACILITY UNTIL IT HAS BEEN CLEANED OUT. ALLOW SLURRY TO EVAPORATE OR REMOVE FROM THE SITE IN A SAFE MANNER (IE. VACUUM TRUCK). ALL HARDENED MATERIAL CAN THEN BE REMOVED AND DISPOSED OF PROPERLY.
- IF A LINED BASIN IS USED, IMMEDIATELY REPLACE THE LINER IF IT BECOMES DAMAGED. REMOVE TEMPORARY CONCRETE WASHOUT FACILITIES WHEN THEY ARE NO LONGER NEEDED AND RESTORE THE DISTURBED AREAS TO THEIR ORIGINAL CONDITION

P.C.C. SIDEWALK W/ MACRO FIBROUS REINFORCEMENT

THE SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 424 OF THE STANDARD SPECIFICATIONS EXCEPT: THE CONCRETE'S COURSE AGGREGATE SHALL CONSIST OF CRUSHED LIMESTONE, THE SIDEWALK SHALL BE REINFORCED WITH MACRO FIBROUS CONCRETE REINFORCING MATERIALS, AND ALL EXPANSION JOINTS SHALL BE SEALED WITH GREY ELASTOMERIC SELF LEVELING SEALANT.

THE SYNTHETIC MACRO FIBER CONCRETE REINFORCEMENT SHALL MEET THE FOLLOWING REQUIREMENTS:

- ASTM C 1116, PARAGRAPH 4.1.3, TYPE III,
- MONOFILAMENT, NON-FIBRILLATING, MADE OF VIRGIN POLYELOFIN,
- MINIMUM LENGTH OF 1.38" (35 MM),
- MAXIMUM LENGTH OF 2.0" (50 MM), • L/D ASPECT RATIO (LENGTH DIVIDED BY THE EQUIVALENT DIAMETER OF THE FIBER)
- BETWEEN 85 AND 100, MINIMUM TENSILE STRENGTH OF 90 KSI (620 MPA),
- MINIMUM CHORD MODULUS OR ELASTIC MODULUS (CALCULATED USING THE SLOPE BETWEEN 0% AND 25% OF THE ULTIMATE STRESS ON THE STRESS VERSUS STRAIN CURVE) OF 1.378 KSI (9.5 GPA) MEASURED ACCORDING TO ASTM D3822-01, AND GRACE STRUX 90/40 SYNTHETIC FIBER REINFORCEMENT OR EQUIVALENT APPROVED
- IN WRITING BY THE ENGINEER. 3.5 LBS. PER CUBIC YARD FOR GRACE STRUX 90/40.
- THE FIBERS SHALL BE DUMPED FROM A BAG INTO THE READY-MIX TRUCK PRIOR TO THE ADDITION OF ANY OTHER COMPONENTS OF THE CONCRETE MIX. THE BAG HOLDING THE FIBERS WILL NOT BE ALLOWED INTO THE CONCRETE MIX.

THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE THOROUGH MIXING OF THE FIBERS INTO THE CONCRETE MIX. VISIBLE "CLUMPS" OF FIBERS IN THE CONCRETE DURING PLACEMENT MAY CAUSE REJECTION OF THE LOAD. IF "CLUMPS" OF FIBERS IN THE CUREL CONCRETE CAUSE FAILURE IN THE SURFACE OF THE CONCRETE. THE CONTRACTOR MAY BE ASKED TO REMOVE AND REPLACE THE CONCRETE PANEL AT THE SOLE DISCRETION OF THE OWNER.

THE CONCRETE WITH COURSE AGGREGATE CONSISTING OF CRUSHED LIMESTONE. FIBROUS CONCRETE REINFORCEMENT MATERIAL, AND GREY ELASTOMERIC SELF LEVELING SEALANT SHALL BE CONSIDERED AS INCLUDED.

hand have been and have been a second and hav

P.C.C. PAVEMENT WITH MACRO FIBROUS REINFORCEMENT:

THE P.C.C. PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 420 OF THE STANDARD SPECIFICATIONS EXCEPT:

- THE CONCRETE'S COURSE AGGREGATE SHALL CONSIST OF CRUSHED LIMESTONE. THE PAVEMENT SHALL BE REINFORCED WITH MACRO FIBROUS CONCRETE
- REINFORCEMENT MATERIALS. ALL JOINTS (CONTRACTION, CONSTRUCTION, EXPANSION, LONGITUDINAL, AND
- TRANSVERSE) SHALL BE SEALED WITH GREY SELF LEVELING SEALANT. WETTING OF CONCRETE SURFACES DURING SCREEDING, INITIAL FLOATING, OR
- FINISHING OPERATIONS IS PROHIBITED. AFTER STRIKING-OFF AND CONSOLIDATING CONCRETE, SMOOTH SURFACE BY SCREEDING AND FLOATING.
- FLOAT FINISH: BEGIN THE SECOND FLOATING OPERATION WHEN BLEED-WATER SHEEN HAS DISAPPEARED AND CONCRETE SURFACE HAS STIFFENED SUFFICIENTLY TO PERMIT OPERATIONS. FLOAT SURFACE WITH POWER DRIVEN FLOATS, OR BY HAND FLOATING IF AREA IS SMALL OR INACCESSIBLE TO POWER UNITS. FINISH SURFACES TO TRUE PLANES. CUT DOWN HIGH SPOTS, AND FILL LOW SPOTS. REFLOAT SURFACE IMMEDIATELY TO UNIFORM GRANULAR TEXTURE.
- AFTER FLOATING, TEST SURFACE FOR TRUENESS. DISTRIBUTE CONCRETE AS REQUIRED TO REMOVE SURFACE IRREGULARITIES, AND FLOAT REPAIRED AREAS TO PROVIDE CONTINUOUS SMOOTH FINISH. COMPLY WITH TOLERANCE OF ACI117 AND AS FOLLOWS:
- •• ELEVATION: 1/4"
- •• THICKNESS: PLUS 3/8", MINUS 1/4"
- SURFACE: GAP BELOW 10' LONG, UNLEVELED STRAIGHT EDGE NOT TO EXCEED 1/4"
- •• LATERAL ALIGNMENT AND SPACING OF TIE BARS AND DOWELS: 1"
- •• VERTICAL ALIGNMENT OF TIE BARS AND DOWELS: 1/4" ALIGNMENT OF TIE BAR END RELATIVE TO LINE PERPENDICULAR TO PAVEMENT
- EDGE: 1/2" •• ALIGNMENT OF DOWEL BAR END RELATIVE TO LINE PERPENDICULAR TO PAVEMENT EDGE: LENGTH OF DOWEL 1/4" PER 12"
- •• JOINT SPACING: 3"
- •• CONTRACTION JOINT DEPTH: PLUS 1/4", NO MINUS
- •• JOINT WIDTH: PLUS 1/8", NO MINUS

WORK EDGES OF SLABS AND FORMED JOINTS WITH ON EDGING TOOL AND ROUND TO

ALL THE PROPOSED SIDEWALK EXPANSION JOINTS, EXPANSION JOINTS ADJACENT TO STRUCTURES, ALL TYPE B GUTTER JOINTS (CONTRACTION, CONSTRUCTION, EXPANSION, LONGITUDINAL, AND TRANSVERSE), P.C.C. CURB AND GUTTER JOINTS (CONTRACTION, CONSTRUCTION, EXPANSION, LONGITUDINAL, AND TRANSVERSE)AND ALL P.C.C. PAVEMENT JOINTS (CONTRACTION, CONSTRUCTION, EXPANSION, LONGITUDINAL, AND TRANSVERSE) SHALL BE SEALED WITH SELF-LEVELING ELASTOMERIC JOINT SEALANT OF THE COLOR INDICATED IN THE PLANS. EXPANSION JOINTS IN THE SIDEWALK AND PAVEMENT SHALL BE ROUTED TO THE DEPTH NOTED ON THE DETAILS IN THE PLANS. IMMEDIATELY AHEAD OF THE PLACEMENT OF THE SEALER, DUST AND DEBRIS SHALL BE BLOWN FROM THE JOINT WITH A POWER BRUSH OR WITH COMPRESSED AIR AT A MINIMUM PRESSURE OF 90 PSI. IF COMPRESSED AIR IS USED, THE PNEUMATIC TOOL LUBRICATOR MUST BE BYPASSED AND A FILTER INSTALLED ON THE DISCHARGE VALVE TO KEEP WATER AND OIL OUT OF THE LINES. THE JOINT SHALL ALSO BE DRY. THE RESERVOIR SHALL BE FILLED FLUSH WITH SEALANT.

JOINT MATERIALS:

EXPANSION JOINT MATERIAL SHALL BE FLEX/FOAM EXPANSION JOINT, OF THE THICKNESS SPECIFIED, AS MANUFACTURED BY RIGHT POINTE COMPANY, OR APPROVED EQUAL. THIS EXPANSION MATERIAL SHALL BE USED ON PAVEMENTS CURB AND GUTTER SIDEWALK ENTRANCES, PAVED DITCH OR ANY OTHER REQUIRED EXPANSION JOINT. CELLOTEX EXPANSION MATERIAL WILL NOT BE ALLOWED.

PRE-FORMED JOINT MATERIAL SHALL BE REFLEX RUBBER EXPANSION JOINT MATERIAL, OF THE THICKNESS SPECIFIED, AS MANUFACTURED BY THE J.D. RUSSELL COMPANY, OR APPROVED EQUAL.

NON-MACHINE POURED CURB AND GUTTER REQUIRES THE USE OF A MECHANIZED "CURB ROLLER" FOR ANY HAND POURED CURB AND GUTTER WITH A LENGTH OF TEN (10) FEET OR MORE. THIS ITEM SHALL CONFORM TO SECTION 606 OF THE STANDARD SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO HAVE ROLLER DRUMS MATCHING THE SHAPE OF THE VILLAGE STANDARDS FOR B-6.12 CURB AND GUTTER.

CURB ROLLER MAY REQUIRE THE USE OF A SLIGHTLY MODIFIED CONCRETE CURB MIX DESIGN, WHICH IS "SANDED" FOR PLACEMENT AND WORKABILITY PURPOSES, HOWEVER A STANDARD "CURB MIX" HAS PERFORMED VERY SUCCESSFULLY. CONTRACTOR SHALL SUBMIT THE CONCRETE MIX DESIGN TO THE ENGINEER AND THE VILLAGE AS THE PRE-CONSTRUCTION MEETING. PRIOR TO INITIATING ANY WORK AND PRIOR TO POURING ANY CURB AND GUTTER, THE MIX DESIGN SHALL BE APPROVED BY THE VILLAGE.

CONTRACTOR SHALL DEMONSTRATE PROFICIENCY IN USING THE CURB ROLLER AND HAVE HAD PRIOR USE OF AND/OR TRAINING IN ITS PROPER USE AND APPLICATION.

WWW.JDHINTL.COM

DESIGN

1/2 INCH RADIUS, UNLESS OTHERWISE INDICATED. ELIMINATE TOOL MARKS ON CONCRETE SURFACE.

 AFTER COMPLETION OF FLOATING AND WHEN EXCESS MOISTURE OR SURFACE SHEEN HAS DISAPPEARED, COMPLETE TROWELING AND FINISH SURFACE AS FOLLOWS:

 BROOM FINISH BY DRAWING A FINE-HAIR BROOM ACROSS CONCRETE SURFACE PERPENDICULAR TO LINE OF TRAFFIC. REPEAT OPERATION IF REQUIRED TO PROVIDE A FINE LINE TEXTURE ACCEPTABLE TO OWNER'S REPRESENTATIVE. •• ON INCLINED SLAB SURFACES, PROVIDE A COARSE, NON-SLIP FINISH BY SCORING SURFACE WITH A STIFF-BRISTLED BROOM PERPENDICULAR TO LINE OF TRAFFIC.

DO NOT REMOVE FORMS FOR 24 HOURS AFTER CONCRETE HAS BEEN PLACED. AFTER FORM REMOVAL, CLEAN ENDS OF JOINTS AND POINT-UP ANY MINOR HONEYCOMBED AREAS. REMOVE AND REPLACE AREAS OR SECTIONS WITH MAJOR DEFECTS, AS DIRECTED BY OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO OWNER.

THE SYNTHETIC MACRO FIBER REINFORCEMENT SHALL MEET THE FOLLOWING REQUIREMENTS:

ASTM C 1116, PARAGRAPH 4.1.3, TYPE III,

• MONOFILAMENT, NON-FIBRILLATING, MADE OF VIRGIN POLYELOFIN,

• MINIMUM LENGTH OF 1.38"(35 MM), MAXIMUM LENGTH OF 2.0"(50 MM),

1

• L/D ASPECT RATIO (LENGTH DIVIDED BY THE EQUIVALENT DIAMETER OF THE FIBER) BETWEEN 85 AND 100,

MINIMUM TENSILE STRENGTH OF 90 KSI (620 MPA)

MINIMUM CHORD MODULUS OR ELASTIC MODULUS (CALCULATED USING THE SLOPE BETWEEN 0% AND 25% OF THE ULTIMATE STRESS ON THE STRESS VERSUS STRAIN CURVE) OF 1,378 KSI (9.5 GPA) MEASURED ACCORDING TO ASTM D3822-01, AND GRACE STRUX 90/40 SYNTHETIC FIBER REINFORCEMENT OR EQUIVALENT APPROVED IN WRITING BY THE ENGINEER.

• THE GRACE STRUX 90/40 SYNTHETIC FIBERS SHALL BE ADDED TO THE CONCRETE MIX DESIGN AT A RATE OF 4 LBS. OF MACRO FIBERS PER CUBIC YARD OF CONCRETE. • THE FIBERS SHALL BE DUMPED FROM A BAG INTO THE READY-MIX TRUCK PRIOR TO THE ADDITION OF ANY OTHER COMPONENTS OF THE CONCRETE MIX. THE BAG HOLDING THE FIBERS WILL NOT BE ALLOWED INTO THE CONCRETE MIX.

THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE THOROUGH MIXING OF THE FIBERS INTO THE CONCRETE MIX. VISIBLE "CLUMPS" OF FIBERS IN THE CONCRETE DURING PLACEMENT MAY CAUSE REJECTION OF THE LOAD. IF "CLUMPS" OF FIBERS IN THE CURED CONCRETE CAUSE FAILURE IN THE SURFACE OF THE CONCRETE, THE CONTRACTOR MAY BE ASKED TO REMOVE AND REPLACE THE CONCRETE PANEL AT THE SOLE DISCRETION OF THE OWNER.

THE CONCRETE WITH COURSE AGGREGATE CONSISTING OF CRUSHED LIMESTONE, FIBROUS CONCRETE REINFORCEMENT MATERIAL, AND GREY ELASTOMERIC SELF LEVELING SEALANT SHALL BE CONSIDERED AS INCLUDED.

JOINT SEALANT:

NON-MACHINE POURED CONCRETE CURB AND GUTTER

THE ENGINEER AND/OR VILLAGE SHALL APPROVE LINE, GRADE, CONDITION, AND SUPPORT OF FORMS PRIOR TO ORDERING, PLACING, OR POURING OF CONCRETE.

ALL CURB AND GUTTER SHALL BE VIBRATED AND CONSOLIDATED, INCLUDING THE HEAD OF THE CURB. ANY UNCONSOLIDATED CURB AND GUTTER DEMONSTRATING HONEYCOMB, BEE-HOLES, OR OTHER ANOMALY WILL BE CONSIDERED FOR REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

FINAL PROFILE SHALL BE VERIFIED USING A TEMPLATE, CONFORMING TO THE SHAPE OF THE VILLAGE STANDARDS FOR B-6.12 CURB AND GUTTER.

CURB PROFILE SHALL BE CHECKED FOR STRAIGHTNESS AND FLOWLINES SHALL BE STRAIGHT-EDGED AND CHECKED FOR PROPER FLOW WITH AN ALUMINUM STRAIGHTEDGE

PROVIDING AND UTILIZING A "CURB ROLLER" SHALL NOT BE PAID FOR SEPARATELY, BUT SHALL BE INCLUDED IN THE COST OF THE CUR AND GUTTER.

MORE INFORMATION ON CURB ROLLERS IS AVAILABLE AT: WWW.CURBROLLER.COM



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



Chamlin & Associates **ENGINEERS - SURVEYORS - PLANNERS** 219 S. MAIN ST. - MORTON, IL 61550 309.291.3577 - www.Chamlin.com



BID DOCUMENTS

PROJECT NAME:

VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. MORTON, IL 61550

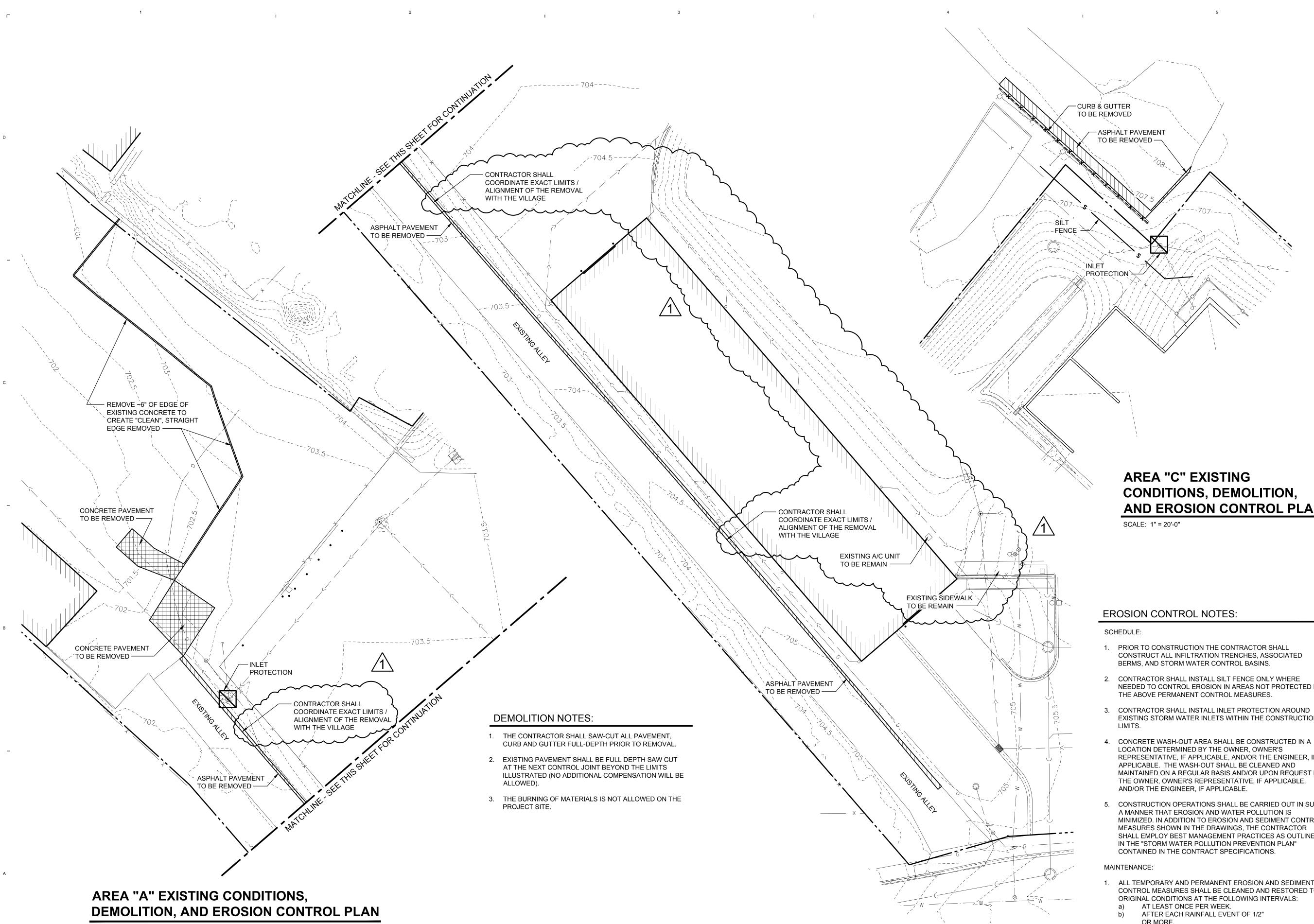
SHEET TITLE:

SPECIAL **PROVISIONS AND SPECIFICATIONS**

DATE: 07/22/2024

PROJECT NO. 24003

SHEET NUMBER



SCALE: 1" = 20'-0"

AREA "B" EXISTING CONDITIONS, **DEMOLITION, AND EROSION CONTROL PLAN**

SCALE: 1" = 20'-0"

1



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



Chamlin & Associates ENGINEERS - SURVEYORS - PLANNERS 219 S. MAIN ST. - MORTON, IL 61550 309.291.3577 - www.Chamlin.com



AND EROSION CONTROL PLAN

- CONSTRUCT ALL INFILTRATION TRENCHES, ASSOCIATED
- NEEDED TO CONTROL EROSION IN AREAS NOT PROTECTED BY
- EXISTING STORM WATER INLETS WITHIN THE CONSTRUCTION
- REPRESENTATIVE, IF APPLICABLE, AND/OR THE ENGINEER, IF MAINTAINED ON A REGULAR BASIS AND/OR UPON REQUEST BY THE OWNER, OWNER'S REPRESENTATIVE, IF APPLICABLE,
- 5. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH MINIMIZED. IN ADDITION TO EROSION AND SEDIMENT CONTROL MEASURES SHOWN IN THE DRAWINGS, THE CONTRACTOR SHALL EMPLOY BEST MANAGEMENT PRACTICES AS OUTLINED

- ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CLEANED AND RESTORED TO
- OR MORE.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REGARDLESS OF FREQUENCY OF WEATHER EVENTS. NO ADDITIONAL COMPENSATION WILL BE GRANTED FOR UNUSUALLY FREQUENT PRECIPITATION.

BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. **MORTON, IL 61550**

SHEET TITLE:

EXISTING CONDITIONS, DEMOLITION AND EROSION CONTROL

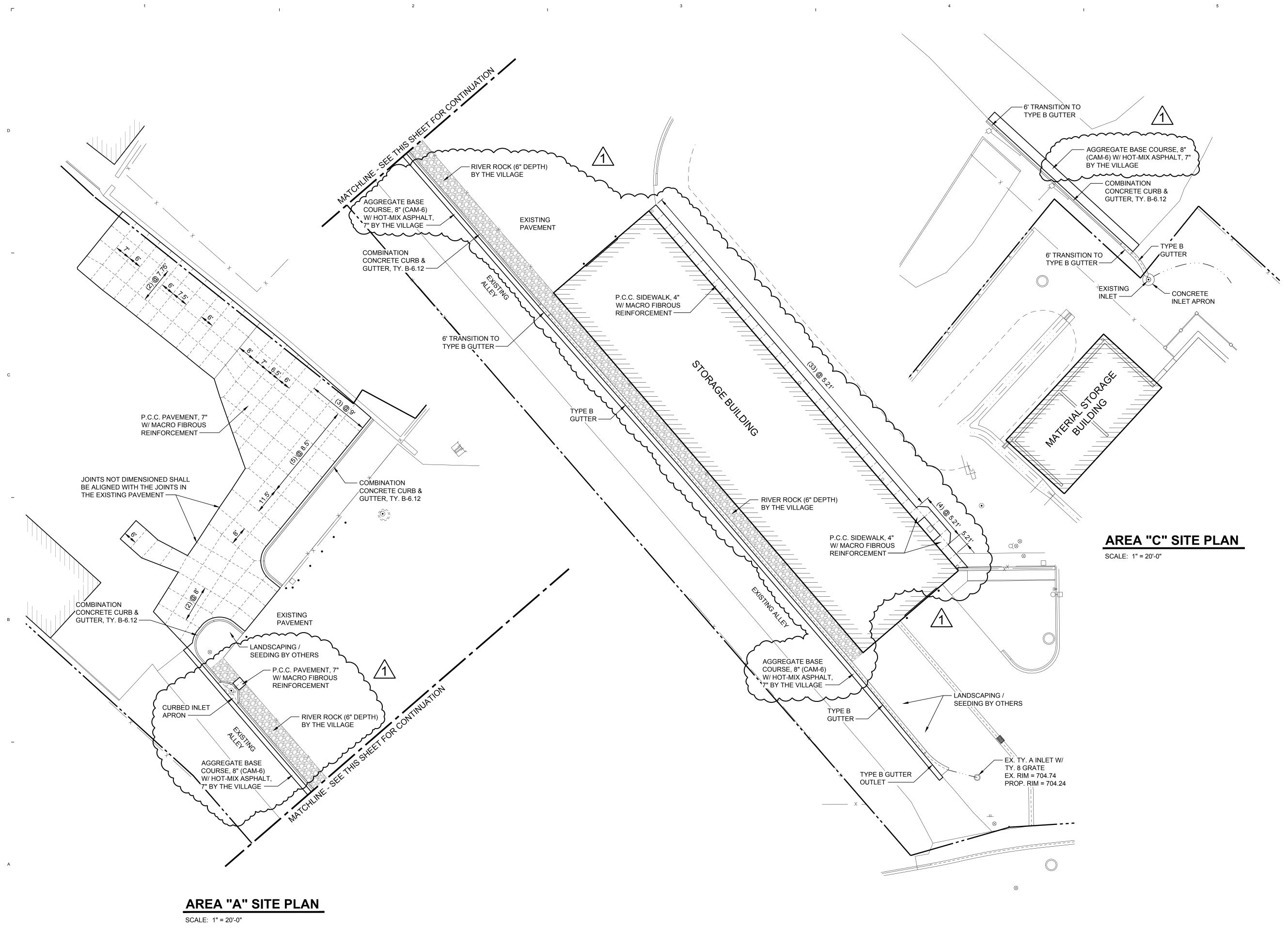
DATE:

07/22/2024

24003 PROJECT NO.

SHEET NUMBER

C-200a



I.

L

I.

AREA "B" SITE PLAN

SCALE: 1" = 20'-0"

I.

I.



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



Chamlin & Associates **ENGINEERS - SURVEYORS - PLANNERS** 219 S. MAIN ST. - MORTON, IL 61550 309.291.3577 - www.Chamlin.com



BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

SITE PLAN

DATE:

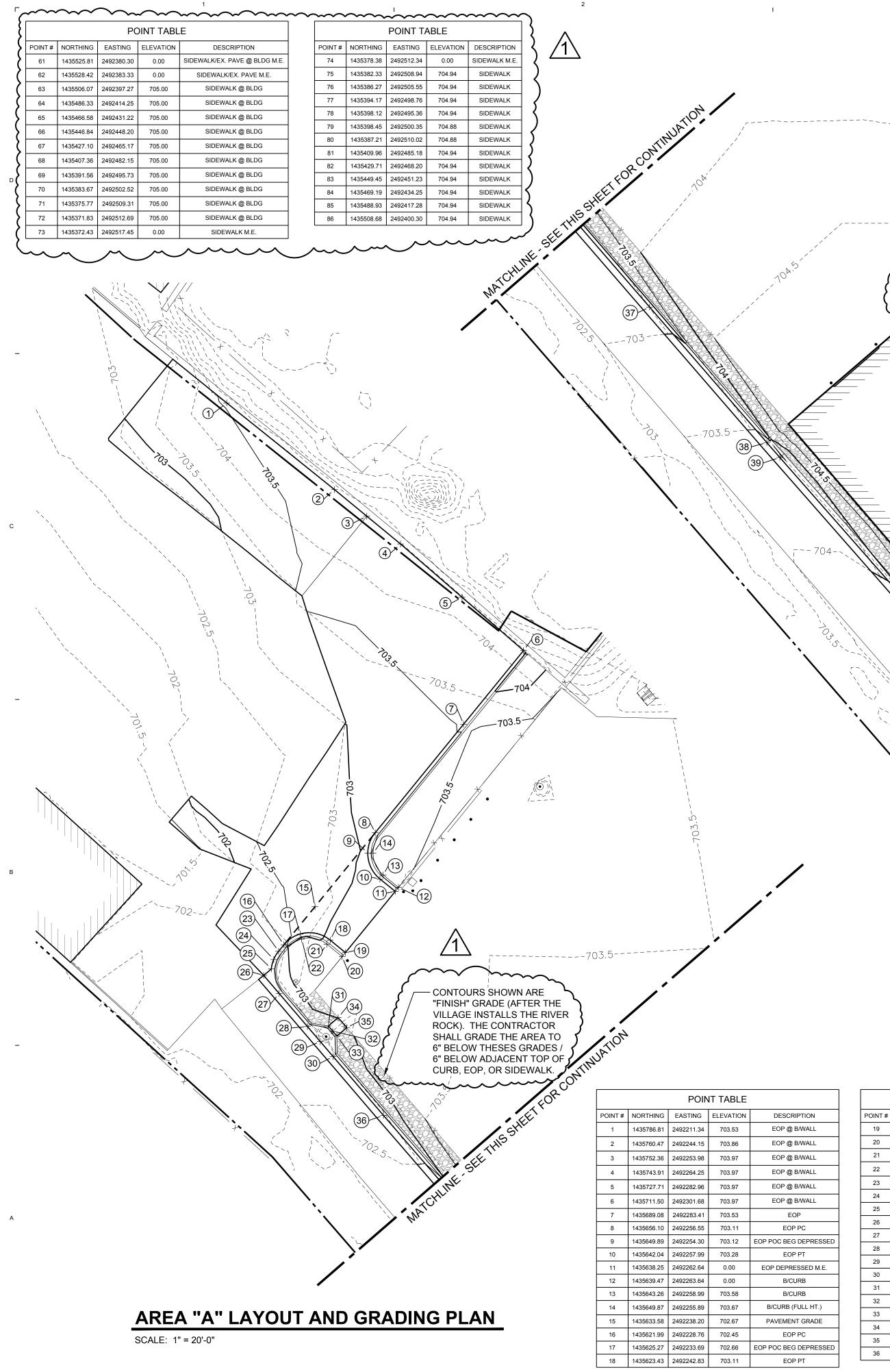
07/22/2024

PROJECT NO.

24003

SHEET NUMBER

C-300a



[
POINT TABLE									
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION					
37	1435526.11	2492297.11	702.86	EOP					
38	1435484.88	2492332.78	703.57	EOP BEG TRANS TO TYPE B GUTTER					
39	1435480.38	2492336.74	703.61	EOP BEG TYPE B GUTTER					
40	1435416.73	2492392.66	704.27	EOP TYPE B GUTTER					
41	1435374.42	2492428.92	704.57	EOP TYPE B GUTTER					
42	1435330.67	2492466.41	704.93	EOP TYPE B GUTTER					
43	1435305.48	2492487.35	705.03	EOP TYPE B GUTTER H.P.					
44	1435292.17	2492498.41	704.97	EOP BEG TYPE B GUTTER OUTLET					
45	1435282.95	2492506.08	705.11	EOP END TYPE B GUTTER OUTLET					
46	1435285.34	2492508.96	704.79	END TYPE B GUTTER FLOWLINE					

- CONTOURS SHOWN ARE "FINISH" GRADE (AFTER THE VILLAGE INSTALLS THE RIVER ROCK). THE CONTRACTOR SHALL GRADE THE AREA TO 6" BELOW THESES GRADES / 6" BELOW ADJACENT TOP OF CURB, EOP, OR SIDEWALK.

(66)

STORACK BUILDING

/1`

	POINT TABLE										
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION							
19	1435619.64	2492247.48	703.43	EOP DEPRESSED M.E.							
20	1435618.41	2492246.48	0.00	B/CURB DEPRESSED M.E.							
21	1435622.20	2492241.83	703.33	B/CURB PC							
22	1435623.75	2492234.14	703.21	B/CURB POC (FULL HT.)							
23	1435620.03	2492227.16	702.36	EOP PC							
24	1435617.53	2492225.67	702.28	EOP POC							
25	1435614.70	2492224.96	702.21	EOP POC							
26	1435612.70	2492222.62	0.00	EOP M.E.							
27	1435607.21	2492227.31	702.18	EOP PT							
28	1435597.14	2492235.92	702.28	EOP BEG CURBED APRON							
29	1435592.58	2492239.82	702.32	EOP CURB APRON L.P.							
30	1435588.02	2492243.72	702.25	EOP END CURBED APRON							
31	1435597.30	2492242.26	702.71	B/CURB - PAVEMENT							
32	1435595.78	2492243.56	702.60	B/CURB - PAVEMENT L.P.							
33	1435594.26	2492244.86	702.70	B/CURB - PAVEMENT							
34	1435599.86	2492245.26	0.00	EOP M.E.							
35	1435596.83	2492247.87	0.00	EOP M.E.							
36	1435570.12	2492259.02	702.32	EOP							

AREA "B" LAYOUT AND GRADING PLAN

/1\

SCALE: 1" = 20'-0"

DESCRIPTION	
EOP @ B/WALL	
EOP	
EOP PC	
P POC BEG DEPRESSED	
EOP PT	
EOP DEPRESSED M.E.	
B/CURB	
B/CURB	
B/CURB (FULL HT.)	
PAVEMENT GRADE	
EOP PC	
P POC BEG DEPRESSED	
EOP PT	



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



Chamlin & Associates **ENGINEERS - SURVEYORS - PLANNERS** 219 S. MAIN ST. - MORTON, IL 61550 309.291.3577 - www.Chamlin.com





SCALE: 1" = 20'-0"

	POINT TABLE									
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION						
48	1435858.84	2492384.64	707.19	EOP BEG DEPRESSED						
49	1435854.78	2492389.06	707.21	EOP END DEPRESSED						
50	1435830.31	2492415.71	707.36	EOP H.P.						
51	1435805.84	2492442.34	707.25	EOP BEG TRANS TO TYPE B GUTTER						
52	1435801.78	2492446.76	707.23	EOP BEG TYPE B GUTTER PC						
53	1435796.39	2492450.36	707.06	FLOWLINE TYPE B GUTTER POC						
54	1435791.92	2492452.68	706.81	FLOWLINE AT INLET APRON						
55	1435791.09	2492455.58	706.94	EDGE OF APRON						
56	1435796.51	2492469.92	706.97	FLOWLINE						
57	1435795.44	2492480.82	707.00	FLOWLINE						
58	1435788.24	2492489.07	707.02	FLOWLINE						
59	1435788.37	2492451.38	706.94	APRON						
60	1435787.44	2492454.45	706.94	APRON						

EARTHWORK AND MATERIALS NOTES:

 $\sim\sim\sim\sim\sim\sim\sim$

 $\underline{/1}$

 \sim

ALL EXCAVATION NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL HAVE THE EARTHEN MATERIAL REMOVED FROM THE SITE AND TRANSPORTED BY THE CONTRACTOR TO THE VILLAGE'S MATERIAL STORAGE AREA AT THE WASTEWATER TREATMENT PLANT ON SOUTH FOURTH STREET.

2. THE AREA SHOWN TO BE RIVER ROCK BY THE VILLAGE SHALL BE GRADED TO 6" BELOW ADJACENT T/CURB, EOP, OR BUILDING GRADE.

THE CONTRACTOR MAY USE CAM-6 MATERIAL STORED AT THE MATERIAL STORAGE AREA AT THE WASTEWATER TREATMENT PLANT ON SOUTH FOURTH STREET IN LIEU OF AGGREGATE BASE COURSE, TYPE B (CRUSHED LIMESTONE) FOR PAVEMENT BASE COURSE - SEE SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION. THE CONTRACTOR IS ENCOURAGED TO MAKE USE OF TRUCKS TRANSPORTING MATERIAL TO THE MATERIAL STORAGE AREA TO BRING CAM-6 MATERIAL BACK ON THE RETURN TRIP.

EXACT PLACEMENT OF THE MATERIAL WITHIN THE MATERIAL STORAGE AREA SHALL BE COORDINATED WITH THE VILLAGE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LABOR AND EQUIPMENT FOR LOADING OF TRUCKS WITH CAM-6 MATERIAL THAT IS TO BE TRANSPORTED TO THE WATER AND GAS BUILDING SITE FROM THE MATERIAL STORAGE AREA AT THE WASTEWATER TREATMENT PLANT ON SOUTH FOURTH STEET. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR LABOR AND EQUIPMENT TO MAINTAIN THE PILE OF MATERIAL BEING TRANSPORTED TO THE WASTEWATER TREATMENT PLANT SITE. THE PILE SHALL BE "SHAPED" AND "PILED-UP" AT THE END OF EACH DAY AND/OR AS DIRECTED BY THE ENGINEER.

 \sim

BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

LAYOUT AND **GRADING PLAN**

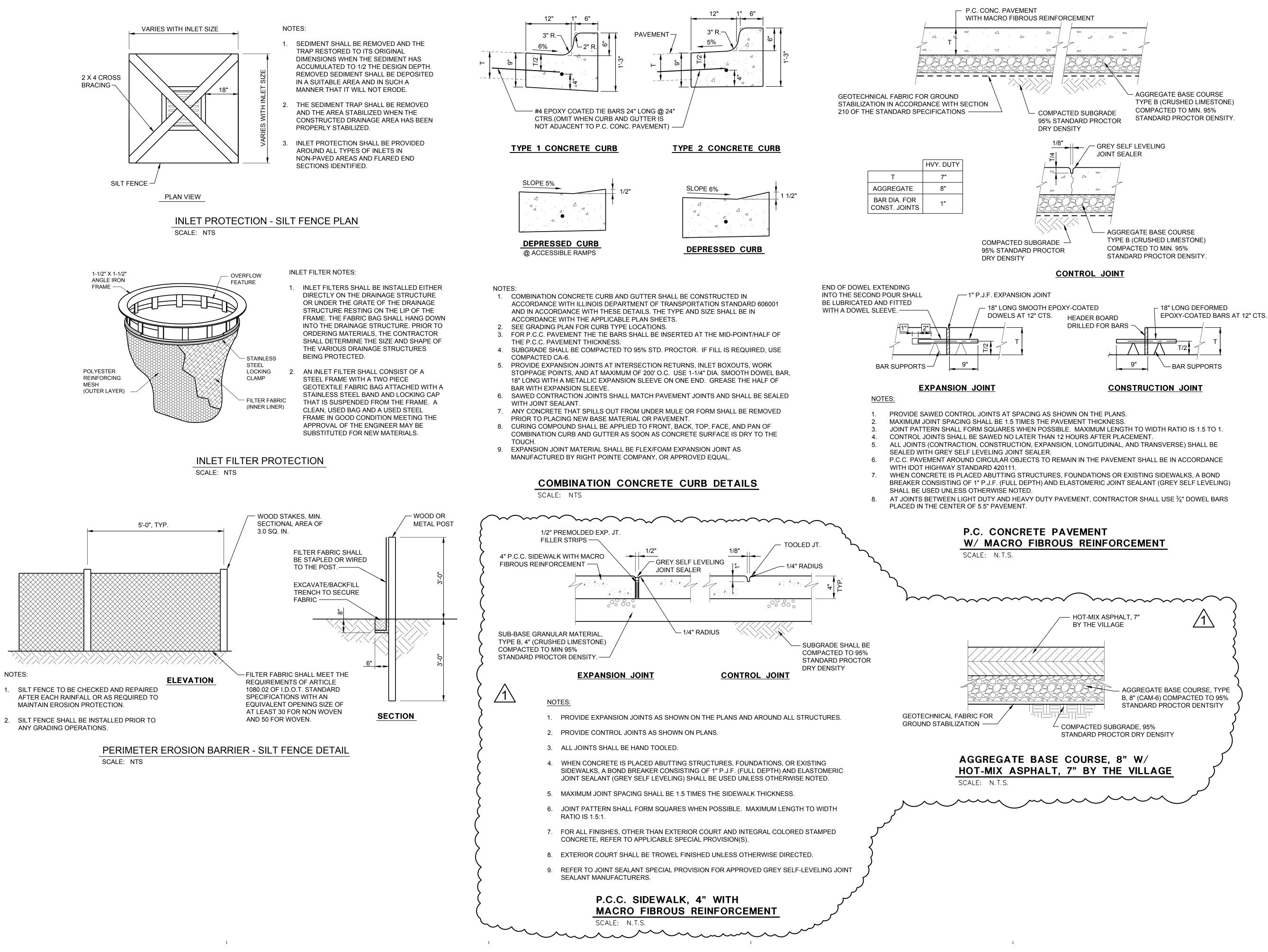
DATE:

07/22/2024

24003 PROJECT NO.

SHEET NUMBER







99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



Chamlin & Associates **ENGINEERS - SURVEYORS - PLANNERS** 219 S. MAIN ST. - MORTON, IL 61550 309.291.3577 - www.Chamlin.com



BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. **MORTON, IL 61550**

SHEET TITLE:

EROSION CONTROL, SITE, AND PAVEMENT DETAILS

DATE:

07/22/2024

PROJECT NO.

24003

SHEET NUMBER

C-500a

						RE	INFORCEM	ENT BARS	S - ENGLISH	H (METRIC	C)				
Bar Dia.	Cross- Sectional	Weight		SPACING, in. (mm)											
Size	in.	Area	lbs./ft.	4 (100)	4½ (115)	5 (125)	5½ (140)	6 (150)	6½ (165)	7 (175)	7½ (190)	8 (200)	8½ (215)	9 (225)	
English (metric)	mm	sq. in. (sq. mm)	kg/m		AREA OF STEEL PER FOOT (METER), sq. in. (sq. mm)										
3	0.375	0.110	0.376	0.330	0.293	0.264	0.240	0.220	0.203	0.189	0.176	0.165	0.155	0.147	
(10)	(9.5)	(71)	(0.560)	(710)	(617)	(568)	(507)	(473)	(430)	(406)	(374)	(355)	(330)	(316)	
4	0.500	0.196	0.668	0.588	0.523	0.470	0.428	0.392	0.362	0.336	0.314	0.294	0.277	0.261	
(13)	(12.7)	(129)	(0.944)	(1290)	(1122)	(1032)	(921)	(860)	(782)	(737)	(679)	(645)	(600)	(573)	
5	0.625	0.307	1.043	0.921	0.819	0.737	0.670	0.614	0.567	0.526	0.491	0.461	0.433	0.409	
(16)	(15.9)	(199)	(1.552)	(1990)	(1730)	(1592)	(1421)	(1327)	(1206)	(1137)	(1047)	(995)	(926)	(884)	
6	0.750	0.442	1.502	1.326	1.179	1.061	0.964	0.884	0.816	0.758	0.707	0.663	0.624	0.589	
(19)	(19.1)	(284)	(2.235)	(2840)	(2470)	(2272)	(2029)	(1893)	(1721)	(1623)	(1495)	(1420)	(1321)	(1262)	
7	0.875	0.601	2.044	1.803	1.603	1.442	1.311	1.202	1.110	1.030	0.962	0.902	0.848	0.801	
(22)	(22.2)	(387)	(3.042)	(3870)	(3365)	(3096)	(2764)	(2580)	(2345)	(2211)	(2037)	(1935)	(1800)	(1720)	
8	1.000	0.785	2.670	2.355	2.093	1.884	1.713	1.570	1.449	1.346	1.256	1.178	1.108	1.047	
(25)	(25.4)	(510)	(3.973)	(5100)	(4435)	(4080)	(3543)	(3400)	(3091)	(2914)	(2684)	(2550)	(2372)	(2267)	
9	1.128	1.000	3.400	3.000	2.667	2.400	2.182	2.000	1.846	1.714	1.600	1.500	1.412	1.333	
(29)	(28.7)	(645)	(5.060)	(6450)	(5609)	(5160)	(4607)	(4300)	(3909)	(3686)	(3395)	(3225)	(3000)	(2867)	
10	1.270	1.267	4.303	3.801	3.379	3.041	2.764	2.534	2.339	2.172	2.027	1.901	1.789	1.689	
(32)	(32.3)	(819)	(6.404)	(8190)	(7122)	(6552)	(5850)	(5460)	(4964)	(4680)	(4311)	(4095)	(3809)	(3640)	
11 (36)	1.410 (35.8)	1.561 (1006)	5.313 (7.907)	4.683 (10060)	4.163 (8748)	3.746 (8048)	3.406 (7186)	3.122 (6707)	2.882 (6097)	2.676 (5749)	2.498 (5295)	2.342 (5030)	2.204 (4679)	2.081 (4471)	

1

1

2

I

I



1

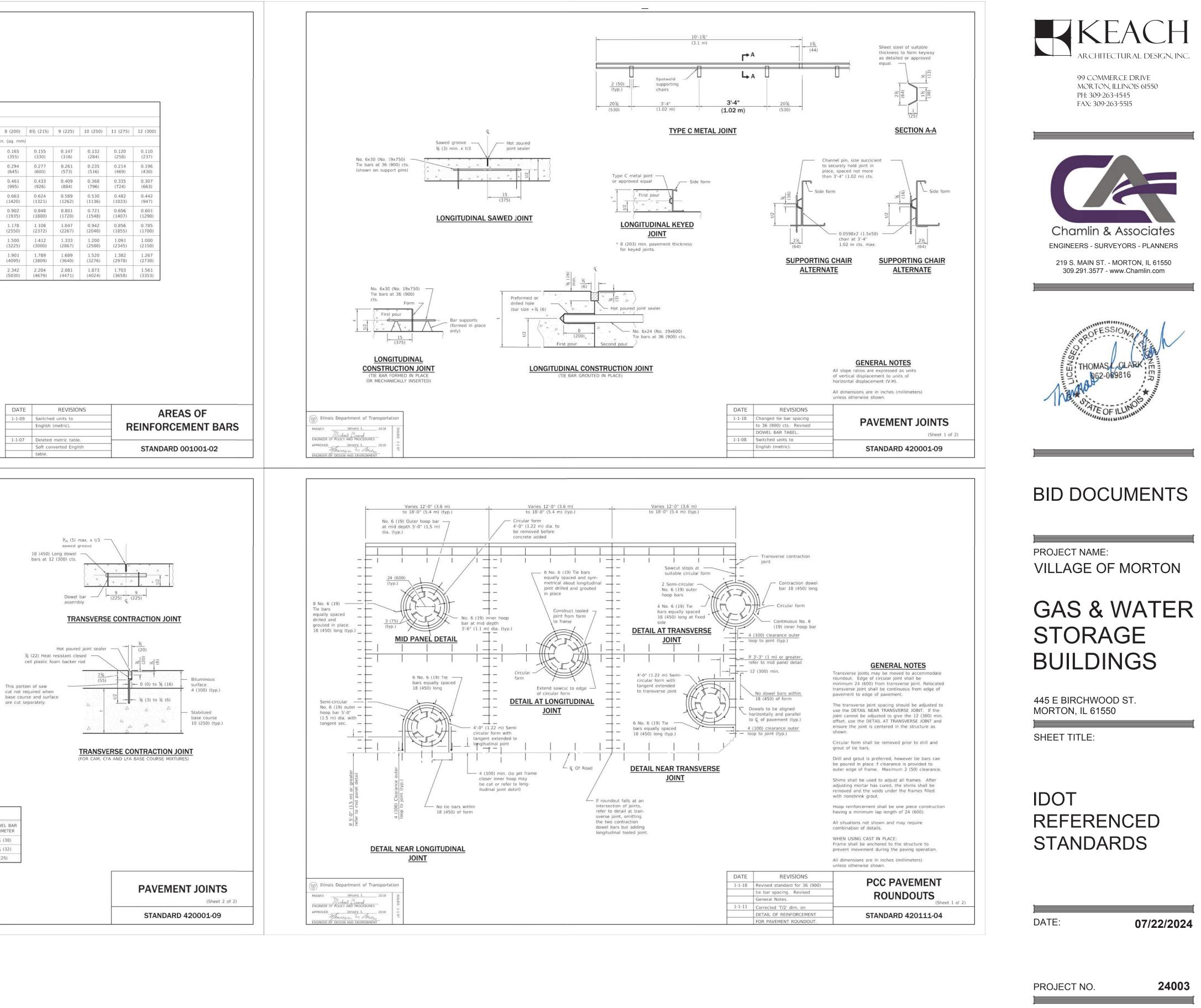
Г

D

С

_

В

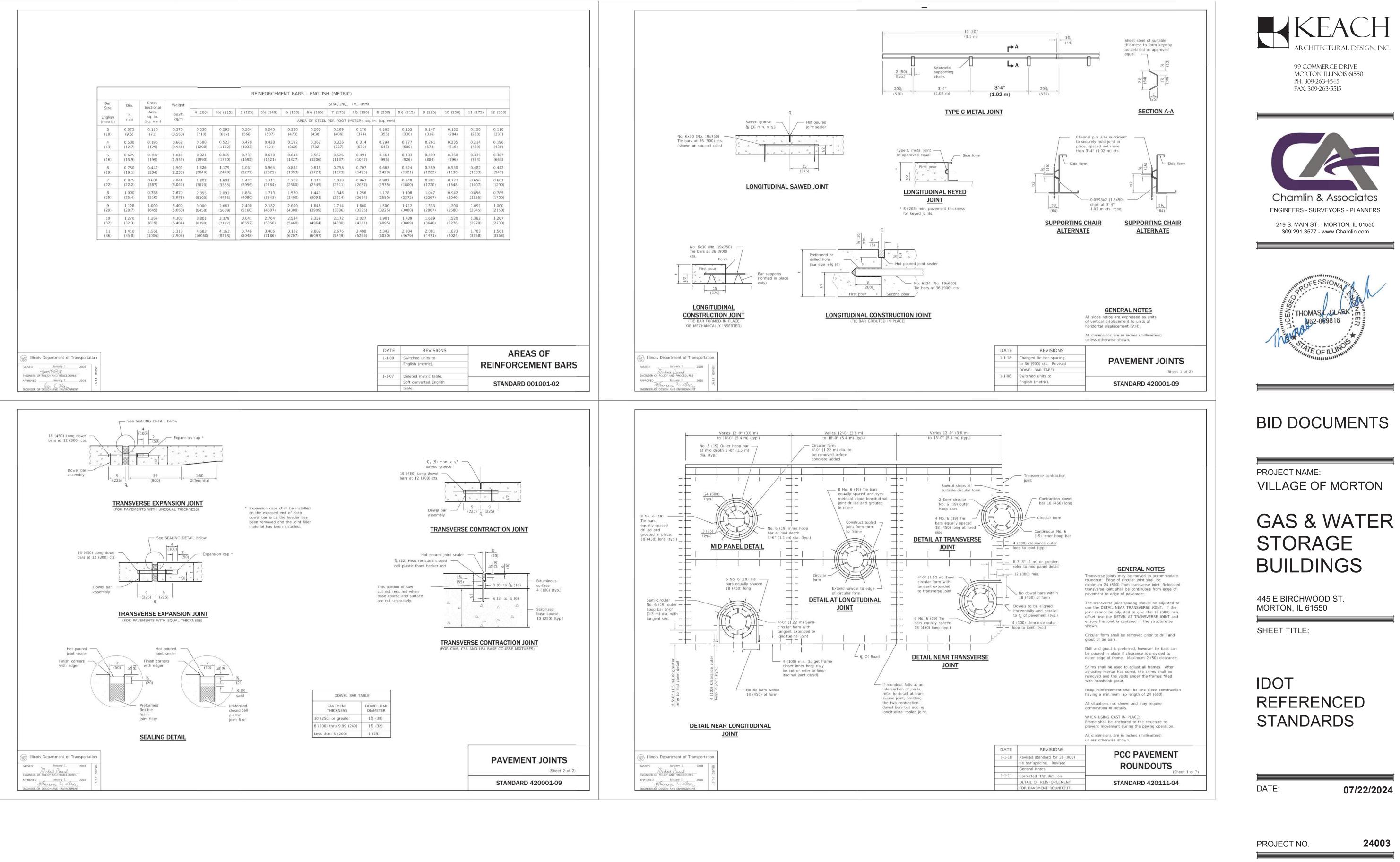


4

5

I

1



1

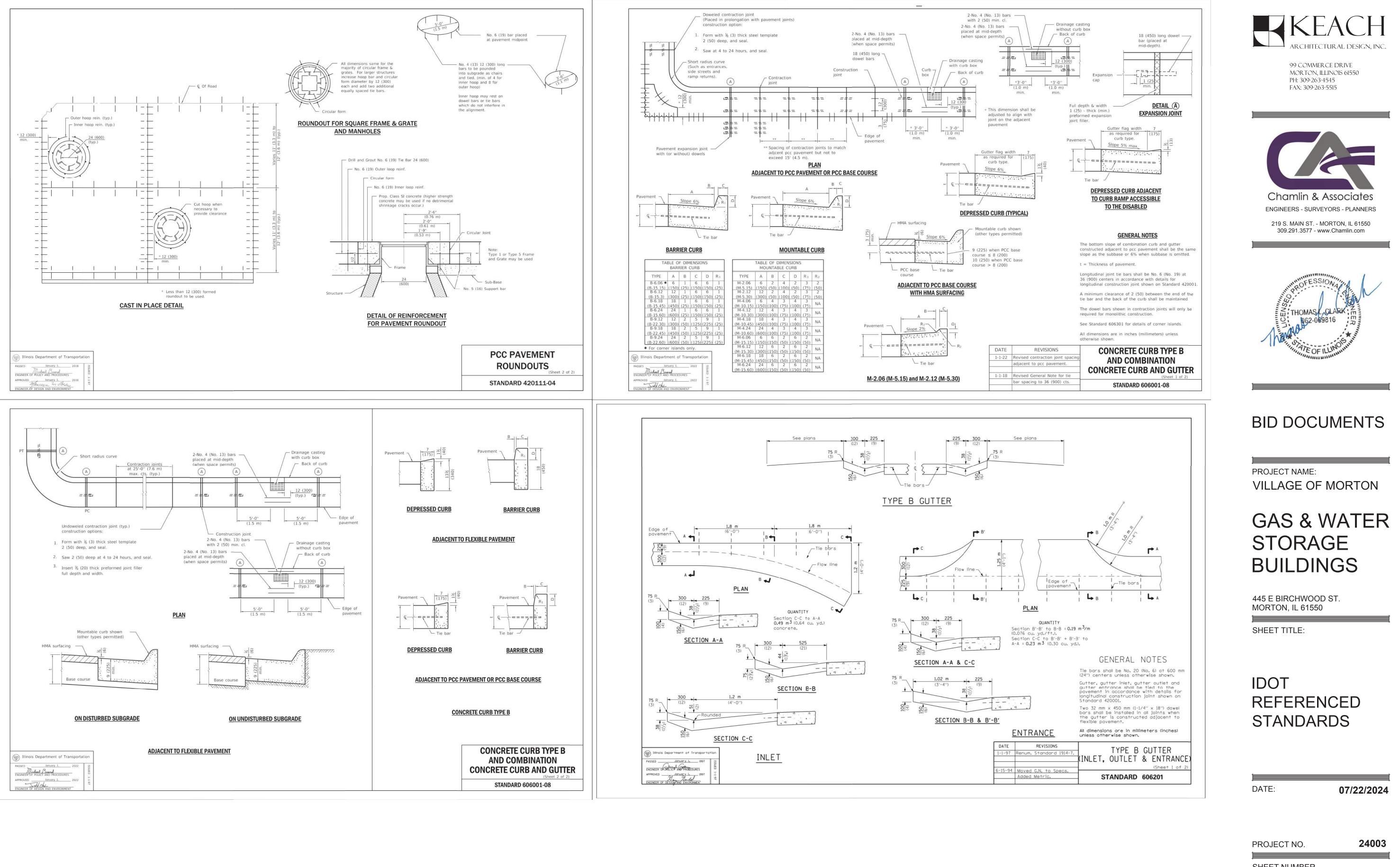
I.

3

А

SHEET NUMBER

C-600



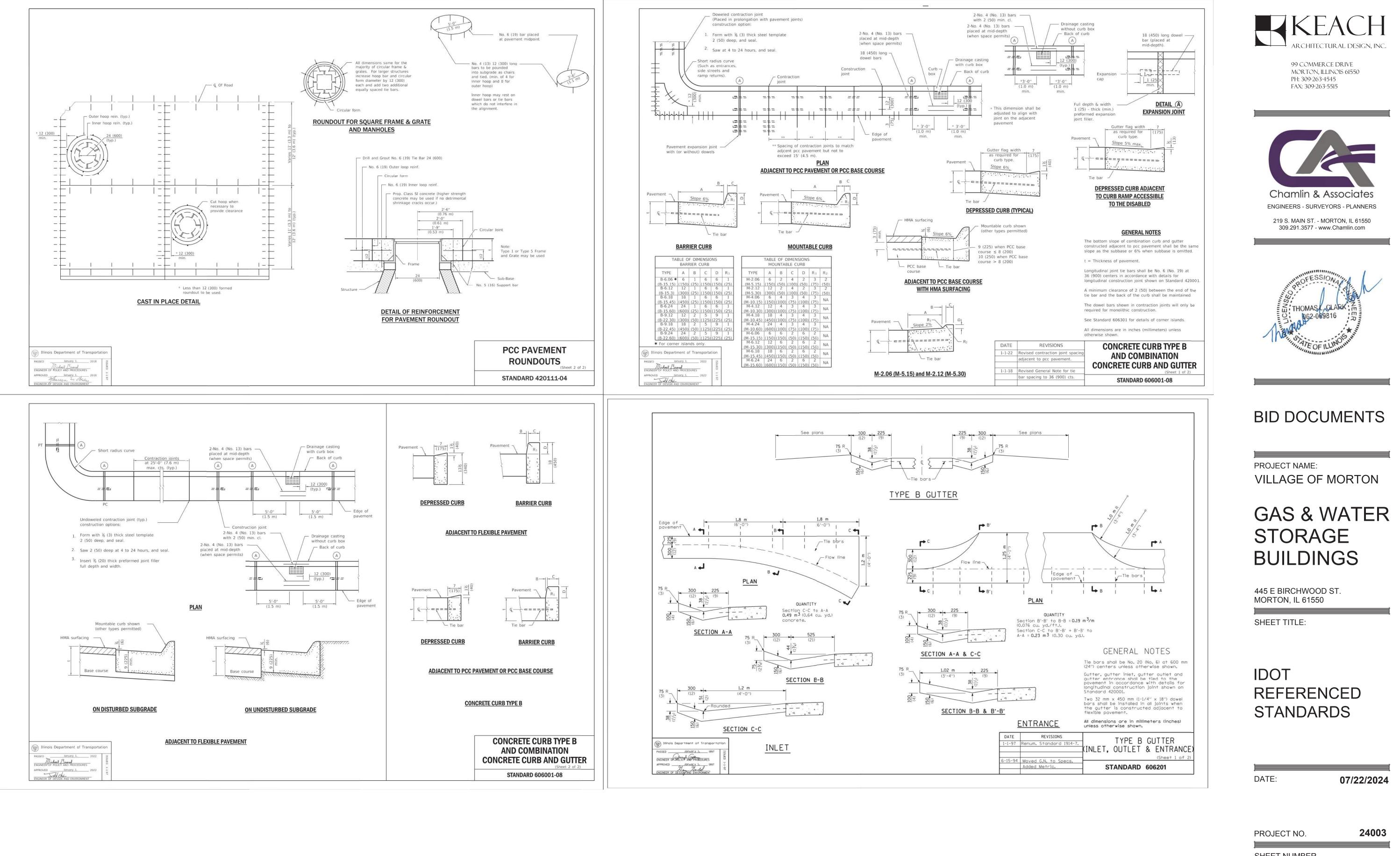
I

1

4

I.

I.



3

1

Г

В

_

А

L

2

1

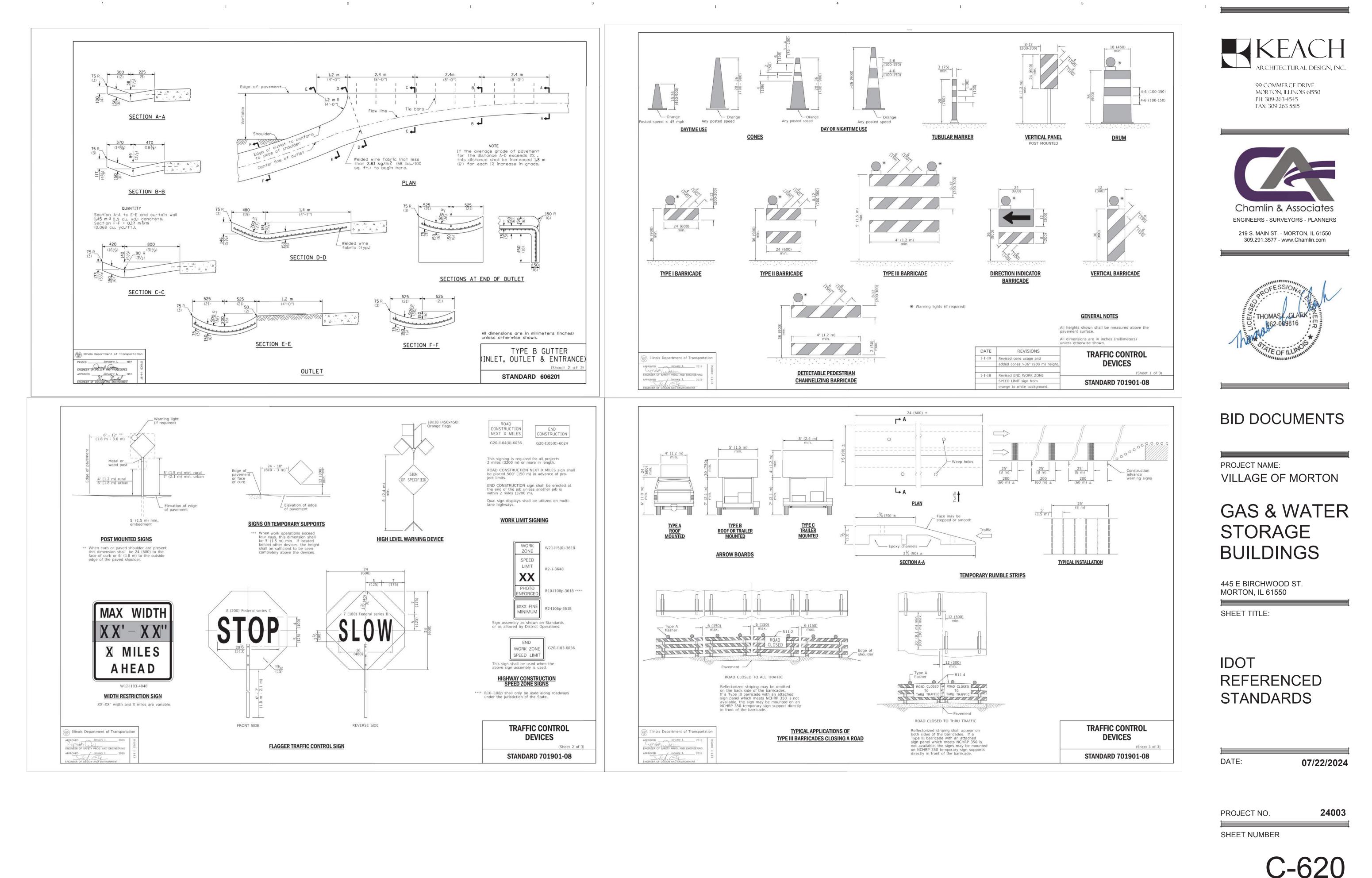
1

1

I.

SHEET NUMBER

C-610



I.

4

3

L

I.

I.

Α

1

Г

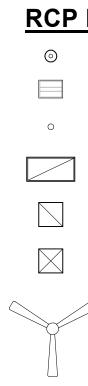
С

_

В

5

1



I.

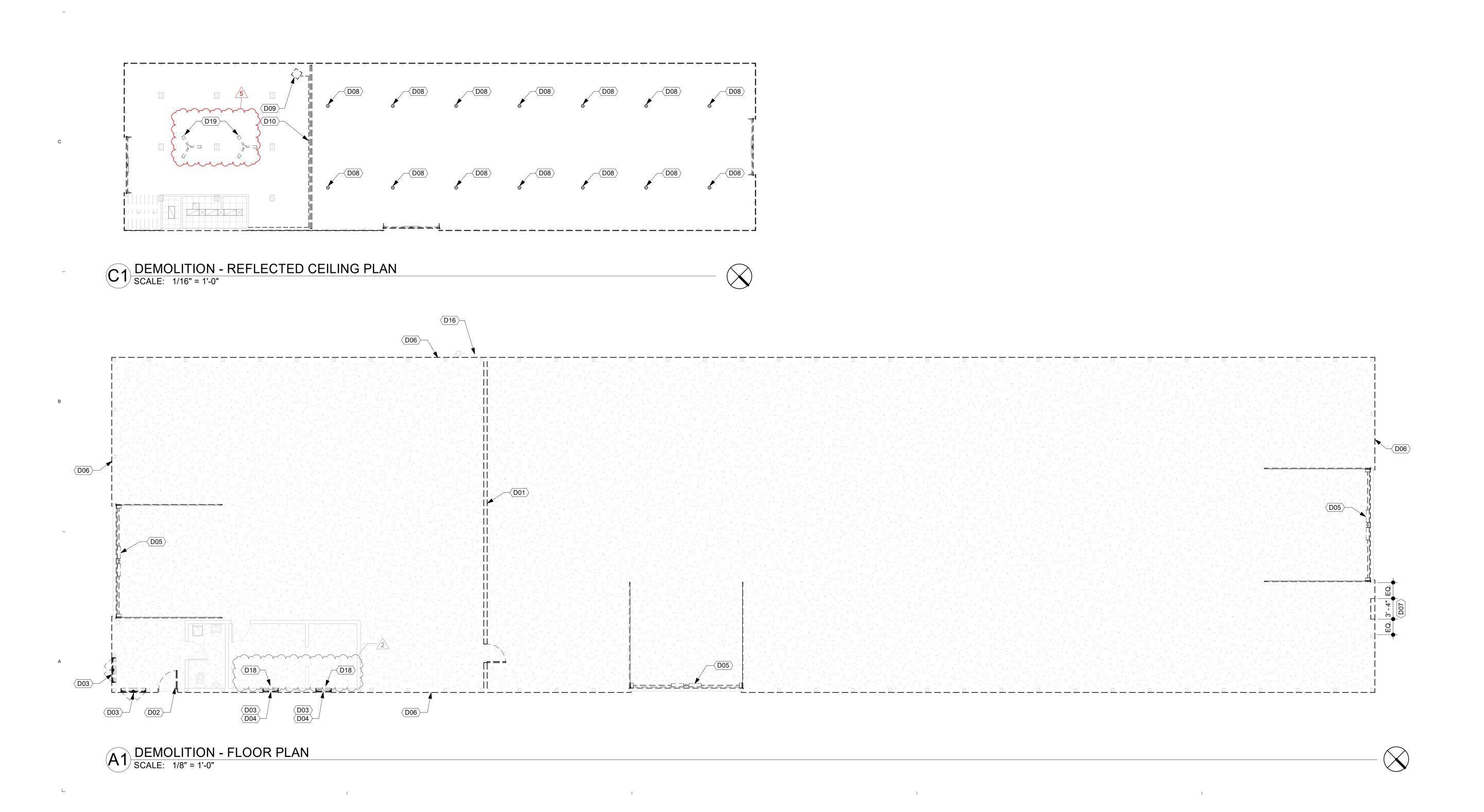
2

1

Г

D

I



ΡL	EGEND	$\langle D\# \rangle$	DEMOLITION KEYED NOTES	DE	EMOLITION PLAN GENERAL NOTES
	PENDANT LIGHT FIXTURE	 D01	REMOVE WALL IN ITS ENTIRETY; INCLUDING ELECTRICAL, DOORS, AND	1.	PRIOR TO AND DURING ANY DEMOLITION THE CONTRACTOR SHALL BUILDING'S STRUCTURAL INTEGRITY.
_	HIGH BAY LIGHT FIXTURE		FASTENERS. PATCH FLOOR AS REQUIRED WHERE FASTENERS HAVE BEEN REMOVED.	2.	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS RE
		D02	REMOVE EXISTING DOOR AND FRAME		WORK.
	RECESSED LIGHT FIXTURE	D03	REMOVE EXISTING WINDOW	3.	REMOVE ALL HANGERS, SUSPENSION SYSTEMS, SUPPORT FRAMIN
		D04	REMOVE PORTION OF EXISTING WALL FOR NEW WINDOW.	э.	ATTACHMENT HARDWARE AND RELATED APPURTENANCES CONNE
7	2' x 4' LIGHT FIXTURE	D05	REMOVE EXISTING OVERHEAD DOOR		DEMOLISHED. IF COMPLETE REMOVAL IS NOT POSSIBLE, CUT DEVI
		D06	REMOVE EXISTING METAL SIDING		ADJOINING SURFACES OR ORIGIN OF SUPPORT.
-		D07	REMOVE PORTION OF EXISTING WALL FOR NEW DOOR.	4	
	RETURN DIFFUSER	D08	REMOVE EXISTING LIGHT FIXTURE ONLY	4.	ARCHITECT / ENGINEERING TEAM HAS TAKEN EVERY EFFORT TO ID DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL
7		D09	PRIOR TO REMOVAL OF ADJACENT WALL, OWNER TO REMOVE EXISTING UNIT HEATER.		TO DETERMINE EXISTING CONDITIONS. CONTRACTORS FAILURE TO AND/OR ANTICIPATE THE EFFECT OF EXISTING CONDITIONS AND TH
	SUPPLY DIFFUSER	D10	OWNER TO RELOCATE EXISTING GAS LINE TO TRUSSES.		SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. NO
-		D16	PRIOR TO CONTRACT DEMOLITION WORK, EXISTING ELECTRICAL SERVICE TO BE REMOVED BY OWNER.		DISCREPANCIES.
\square		D18	REMOVE AND REPLACE INTERIOR PANELING AS REQUIRED FOR NEW WORK.	5.	CONTRACTOR SHALL COORDINATE SCHEDULE OF DEMOLITION WO
	CEILING FAN	D19	REMOVE FANS IN THEIR ENTIRETY		SURROUNDING ACTIVE WORK AREAS MAY BE OCCUPIED BY THE OV NORMAL OPERATING HOURS. CONSTRUCTION WORK SHALL NOT P

I.

3

ADJACENT OCCUPIED SPACES. 6.

4

RING ANY DEMOLITION THE CONTRACTOR SHALL VERIFY AND MAINTAIN THE

ALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED TO INSTALL ALL NEW

GERS, SUSPENSION SYSTEMS, SUPPORT FRAMING, EQUIPMENT PADS, ANCHORS, RDWARE AND RELATED APPURTENANCES CONNECTED WITH THE WORK TO BE COMPLETE REMOVAL IS NOT POSSIBLE, CUT DEVICES AS CLOSE AS POSSIBLE TO ACES OR ORIGIN OF SUPPORT.

NEERING TEAM HAS TAKEN EVERY EFFORT TO IDENTIFY DEMOLITION ITEMS, ING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND THE FACILITY KISTING CONDITIONS. CONTRACTORS FAILURE TO REASONABLY DETERMINE TE THE EFFECT OF EXISTING CONDITIONS AND THE WORK INVOLVED THEREBY STIFICATION FOR ADDITIONAL COMPENSATION. NOTIFY ARCHITECT OF ANY

ALL COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OWNER. AREAS CTIVE WORK AREAS MAY BE OCCUPIED BY THE OWNER DURING THE OWNER'S ING HOURS. CONSTRUCTION WORK SHALL NOT PREVENT THE USE OF EXISTING

ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORK DAY. THE JOB SITE IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANT OWNER'S APPROVAL.



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

DEMOLITION -FLOOR PLAN & REFLECTED CEILING PLAN -STORAGE BUILDING

REV #	DATE 07/31/24	DESCRIPTION ADDENDUM 2
5	08/06/24	ADDENDUM 5
DATE:		07/22/2024

DATE

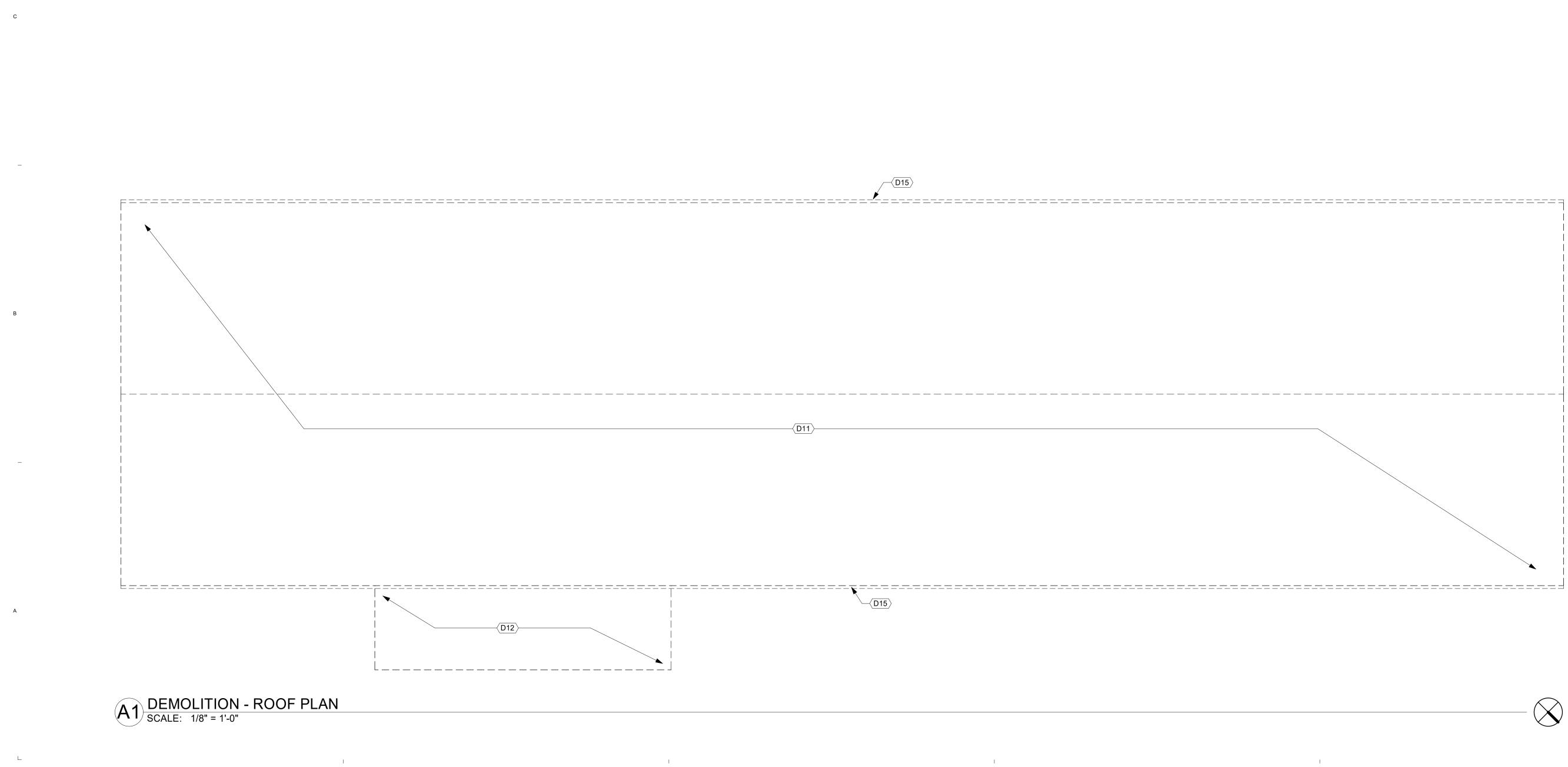
07/22/2024

PROJECT NO.

24003

SHEET NUMBER





D

I

2

1

Г

D	DEMOLITION ROOF PLAN GENERAL NOTES					
1.	ALL WORK SHALL BE WEATHER TIGHT AT THE END OF EACH DAY WITH TEMPORARY MEANS AND METHODS SECURLY IN PLACE UNTIL WORK RESUMES OR IS COMPLETED.	D11	RE [ON			
2.	VERIFY OPERATIONAL STATE OF UTILITIES WITHIN THE WORK SPACE. DO NOT REMOVE OR DISCONNECT UTILITIES UNTIL IT IS SAFE TO DO SO.	D12 D15	RE RE			
3.	MAINTAIN SERVICES AND SYSTEMS INDICATED TO REMAIN AND PROTECT					

4

REMOVE AND REPLACE ONLY (4) ROOF PANEL ROOFS AT ONE TIME. 4.

THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.

I.

3

1

DEMOLITION KEYED NOTES

5

I.

REMOVE EXISTING METAL ROOF PANELS & COVERBOARD IN THEIR ENTIRETY; ONLY (4) ROOF PANELS AT A TIME MAX.] REMOVE EXISTING CANOPY IN IT'S ENTIRETY REMOVE EXISTING GUTTER



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

DEMOLITION -ROOF PLAN

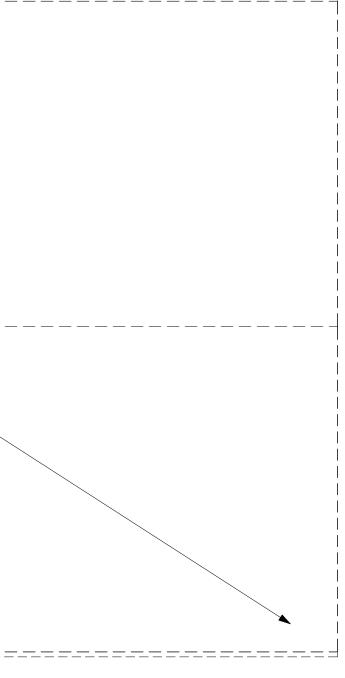
REV # DATE DESCRIPTION			
	REV #	DATE	DESCRIPTION
	DATE:		07/22/2024

PROJECT NO.

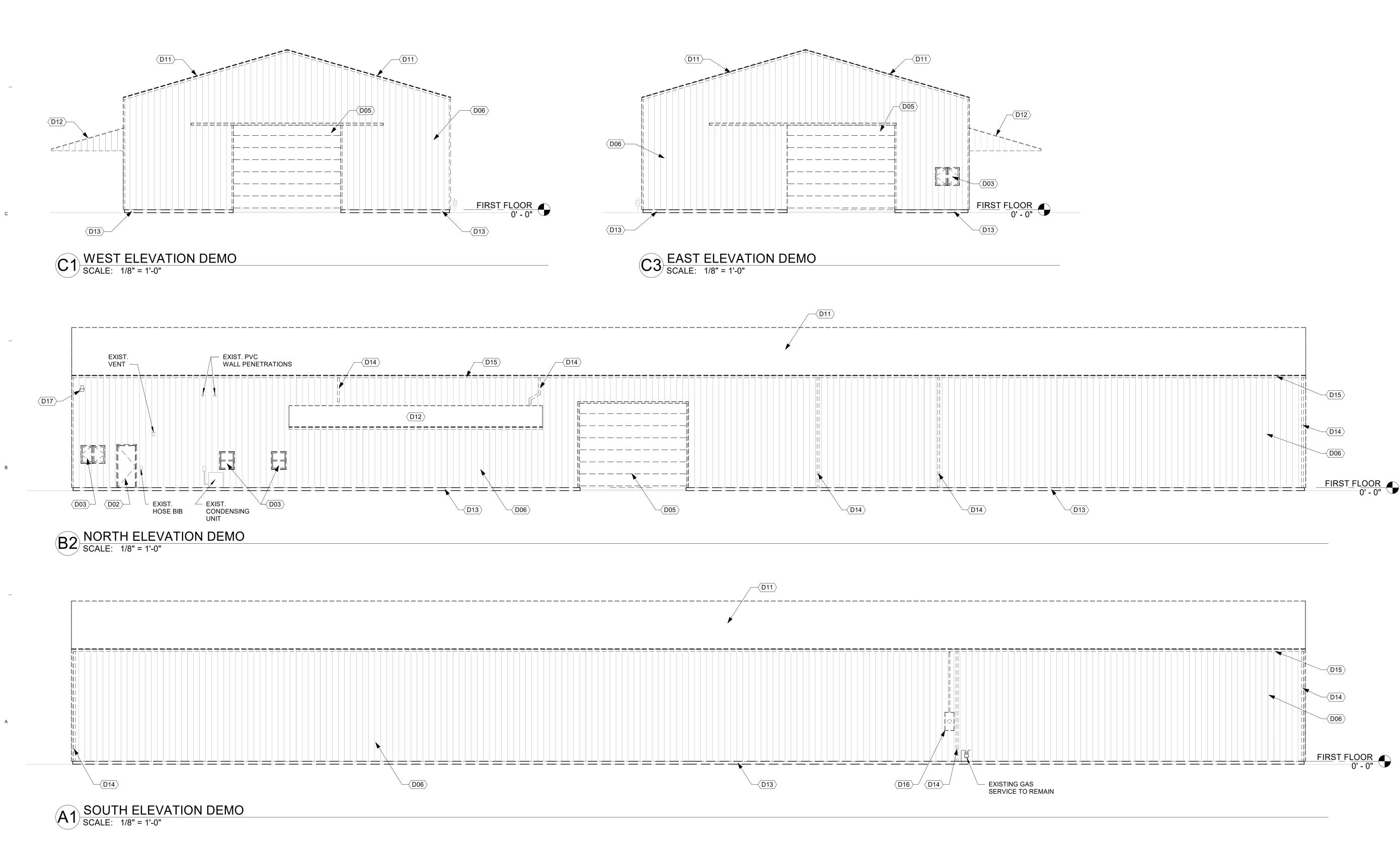
24003

SHEET NUMBER









3

2

1

1

Г

1

D# D02 F D03 F D05 F D06 F D11 F D12 F D12 F D13 F D14 F D15 F D16 F D16 F D17 F

I.

4

I.

DEMOLITION KEYED NOTES

- REMOVE EXISTING DOOR AND FRAME
- REMOVE EXISTING WINDOW REMOVE EXISTING OVERHEAD DOOR
- REMOVE EXISTING METAL SIDING
- REMOVE EXISTING METAL ROOF PANELS & COVERBOARD IN THEIR ENTIRETY; [ONLY (4) ROOF PANELS AT A TIME MAX.]
- REMOVE EXISTING CANOPY IN IT'S ENTIRETY
- REMOVE EXISTING SKIRT BOARD
- REMOVE EXISTING DOWNSPOUT
- REMOVE EXISTING GUTTER
- PRIOR TO CONTRACT DEMOLITION WORK, EXISTING ELECTRICAL SERVICE TO BE REMOVED BY OWNER. REMOVE EXISTING EXTERIOR LIGHT FIXTURE



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

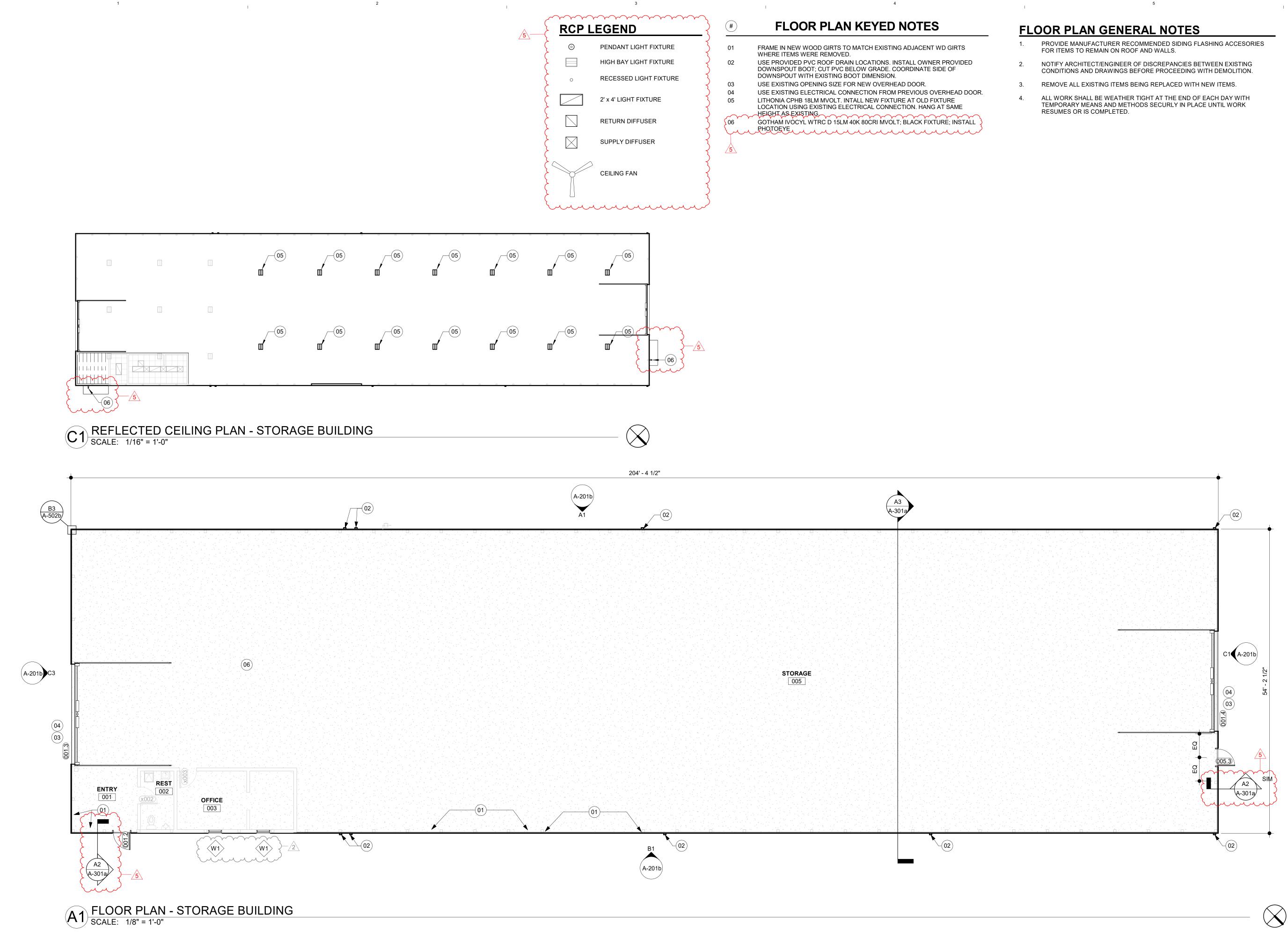
DEMOLITION -EXTERIOR ELEVATIONS

		ł		
REV #	DATE	DESCRIPTION		
		į		
DATE:		07/22/2024		

PROJECT NO. 24003

SHEET NUMBER

AD201



T

Г

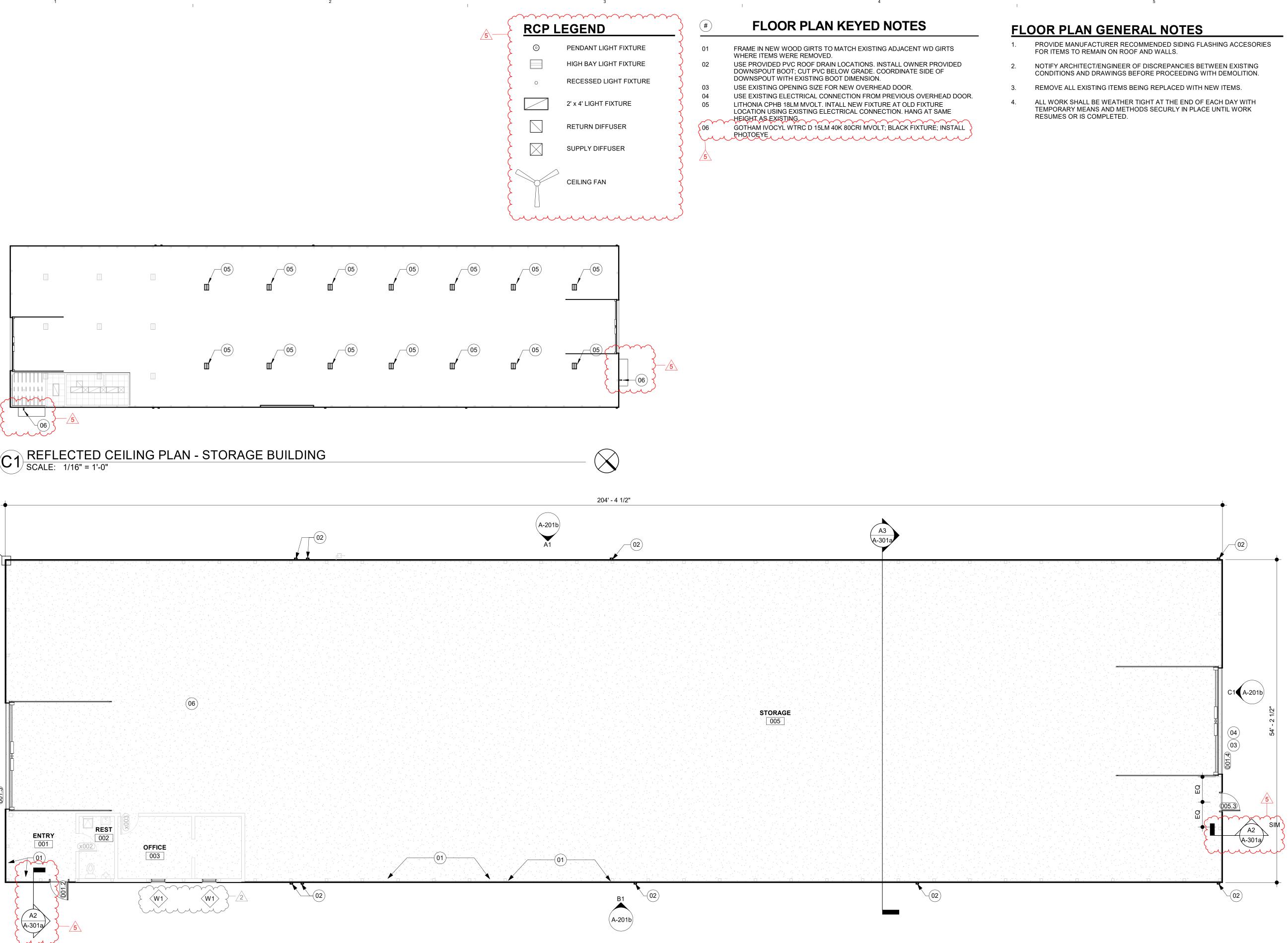
D

С

В

Α

L



I



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

FLOOR PLAN & REFLECTED CEILING PLAN -STORAGE BUILDING

REV #	DATE	DESCRIPTION
2	07/31/24	ADDENDUM 2
5	08/06/24	ADDENDUM 5

DATE:

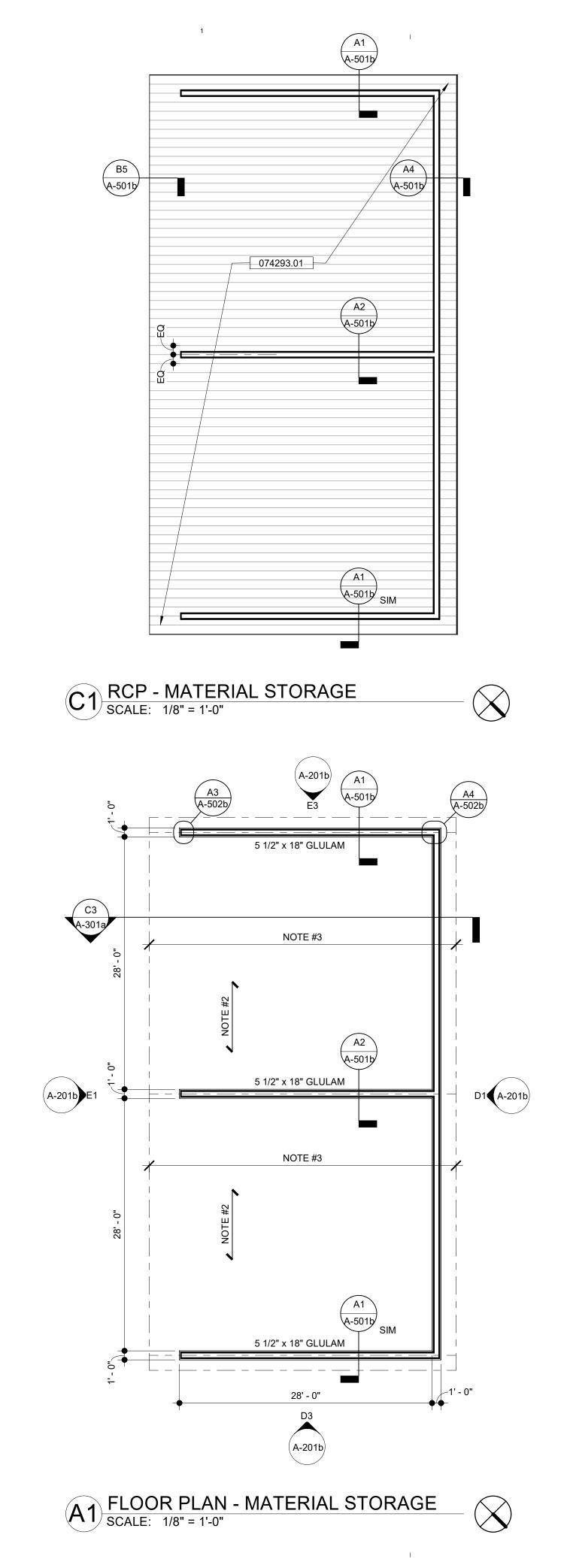
07/22/2024

24003

SHEET NUMBER

PROJECT NO.





D

WOOD FRAMING PLAN NOTES:

NOT USED. 1.

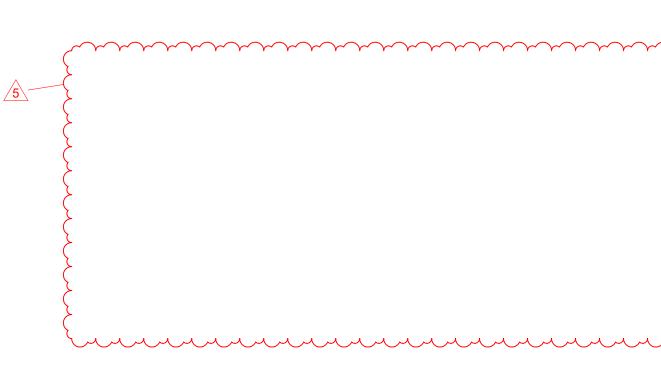
- 9/16" APA RATED SHEATHING (FIRE RETARDANT) SPANNING CONTINUOUSLY ACROSS 4 JOISTS (MIN.) FASTEN DECK TO SUPPORTS w/ 0.131" DIAMETER x 2 1/2" LONG COMMON NAILS @ 6" OC @ PANEL EDGES AND 12" OC AT FIELD. ✓ INDICATES DIRECTION OF SPAN. T/SHEATING EL. = VARIES.
- 3.
- 8'-0" OC. WALLS SHALL HAVE 2x6 DF#2 STUDS AT 24" OC. WALL SHEATHING SHALL BE 7/16" SHEATHING ON EACH SIDE w/ 0.131 "DIAMETER x 2 1/2"

UNLESS NOTED OTHERWISE.

KEYNOTE SCHEDULE				
KEYNOTE	DESCRIPTION			
074293.01	12" FLUSH SOFFIT PANEL			

3

- 2.



ANCHORS TO CONCRETE AND MASONRY:

- ANCHORS SHALL BE ADHESIVE ANCHORS, UNLESS NOTED OTHERWISE
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (fc) OR 2500 PSI AT THE TIME OF ADHESIVE ANCHOR INSTALLATION. CONCRETE SHALL HAVE A MINIMUM AGE OF 21 DAYS AND TEMPERATURE OF 50 DEGREES FAHRENHEIT AT TIME OF ADHESIVE ANCHOR INSTALLATION.
- ADHESIVE ANCHORS SHALL BE HILTI HIT ADHESIVE ANCHORS. USE HIT-HY 200 MAX ADHESIVE WHEN ANCHORING INTO CONCRETE BASE MATERIAL. USE HIT-HY 70 ADHESIVE WHEN ANCHORING TO OR THROUGH SOLID GROUTED CONCRETE MASONRY. ANCHORS SHALL BE HOT DIPPED GALVANIZED.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS. THE HOLES SHALL NOT BE CORED, BUT SHALL BE MADE WITH A CARBIDE BIT AND ROTARY IMPACT HAMMER DRILL. THE HOLES SHALL BE CLEANED WITH A WIRE BRUSH. INSERT AIR NOZZLE TO BOTTOM OF HOLE AND BLOW OUT HOLE WITH COMPRESSED AIR. ANCHOR HOLES SHALL BE THOROUGHLY CLEAN AND DRY PRIOR TO ADHESIVE INJECTION. USE MANUFACTURER'S SUPPLIED MIXER. DISCARD THE FIRST THREE TRIGGER PULLS OF ADHESIVE FROM EACH REFILL PACK. INJECT ADHESIVE INTO HOLE STARTING AT BOTTOM
- WHEN INSTALLING ANCHORS, DO NOT CUT EXISTING REINFORCING INSTALL ANCHORS TO ACCOMMODATE THE STANDARD HOLE SIZE IN STEEL.
- ADHESIVE ANCHOR EMBEDMENT DEPTH SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE: 3/8" DIA.: 31/2" EMBEDMENT
 - 1/2" DIA. : 41/2" EMBEDMENT 5/8" DIA.: 55/8" EMBEDMENT
 - 3/4" DIA.: 63/4" EMBEDMENT 1" DIA. : 9" EMBEDMENT
- UNLESS SPECIFIED ON DRAWINGS, ALTERNATE ANCHORS SHALL BE SUBMITTED WITH TEST DATA AND SEALED CALCULATIONS FROM AN ILLINOIS LICENSED STRUCTURAL ENGINEER FOR EACH USE.
- ANCHORS DISPLACED BEFORE FULL ADHESIVE CURE SHALL BE CONSIDERED DAMAGED AND REPLACED AT THE CONTRACTOR'S EXPENSE. REINFORCING BARS OR ALL-THREADED BARS SHALL NOT BE BENT AFTER BEING ADHESIVELY EMBEDDED IN HARDENED, SOUND CONCRETE.

STRUCTURAL STABILITY:

- STRUCTURAL STABILITY IS DEPENDENT ON A FULLY COMPLETED 1. STRUCTURE.
- 2. THE FULLY COMPLETED STRUCTURE IS DESIGNED TO BE STABLE AND TO RESIST THE CODE PRESCRIBED LATERAL AND GRAVITY FORCES. A. "FULLY COMPLETE" INCLUDES, BUT IS NOT LIMITED TO:
 - SLABS AND SLAB-ON-GRADE ARE IN-PLACE AND HAVE ACHIEVED THE CONCRETE DESIGN STRENGTH F'c. BEAMS AND COLUMNS ARE IN PLACE AND ARE
 - CONNECTED AS REQUIRED ON THE CONTRACT DOCUMENTS.
 - THE ROOF AND FLOOR DIAPHRAGM IS INSTALLED AND PROPERLY FASTENED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE 3. STRUCTURE IN ITS INCOMPLETE STAGE, INCLUDING BUT NOT LIMITED TO:
 - DETERMINING ERECTION AND PLACING PROCEDURES. DESIGNING AND PROVIDING TEMPORARY SUPPORTS, SUCH AS B. TEMPORARY SHORING, BRACING, GUYS AND TIE-DOWNS.
 - TEMPORARY BRACING SHALL REMAIN IN PLACE AND SHALL C. CONSIDER THE FULL WIND LOAD EFFECTS AS STATED ON THE
 - DRAWINGS UNTIL THE ABOVE REQUIREMENTS ARE MET. DESIGNING AND PROVIDING SEI/ASCE 37 "DESIGN LOADS ON D. STRUCTURES DURING CONSTRUCTION" AS A REFERENCE TO DETERMINE LOADS FOR TEMPORARY SUPPORTS.

1 3/4"x 14" LVL JOISTS @ 24" OC. PROVIDE SOLID BLOCKING EVERY

LONG COMMON NAILS @ 4" ON CENTER @ PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS. BLOCK ALL EDGES. TYPICAL

LESS.

9

WIND LOAD:

3.

WOOD:

- 3.
- USE

USE Fb -----

6.

NOTCHES IN SOLID LUMBER JOISTS, RAFTERS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER, SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCH DEPTH AT ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH OF THE DEPTH OF THE MEMBER. HOLES BORED OR CUT INTO SOLID LUMBER JOISTS, RAFTERS OR BEAMS SHALL NOT BE CLOSER THAN 2 INCHES TO THE TOP OR BOTTOM OF THE JOIST, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. WHERE THE MEMBERS ARE NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN 2 INCHES TO THE NOTCH. THE DIAMETER OF THE HOLE IN THE JOIST SHALL NOT EXCEED ONE-THIRD OF THE DEPTH OF THE MEMBER.

WHERE THE STUD IS CUT OR BORED IN EXCESS OF ONE-THIRD OF ITS DEPTH, THE STUD SHALL BE REINFORCED TO BE EQUAL IN LOAD-BEARING CAPACITY TO A STUD THAT IS NOTCHED NOT MORE THAN ONE-THIRD OF ITS DEPTH.

FLOOR PLAN GENERAL NOTES

PROVIDE MANUFACTURER RECOMMENDED SIDING FLASHING ACCESORIES FOR ITEMS TO REMAIN ON ROOF AND WALLS.

NOTIFY ARCHITECT/ENGINEER OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH DEMOLITION.

REMOVE ALL EXISTING ITEMS BEING REPLACED WITH NEW ITEMS.

ALL WORK SHALL BE WEATHER TIGHT AT THE END OF EACH DAY WITH TEMPORARY MEANS AND METHODS SECURLY IN PLACE UNTIL WORK RESUMES OR IS COMPLETED.



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



DATE SEALED: 07/22/2024

BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE **BUILDINGS**

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

FLOOR PLAN & REFLECTED CEILING PLAN -MATERIAL STORAGE

REV #	DATE	DESCRIPTION
5	08/06/24	ADDENDUM 5

DATE:

PROJECT NO.

SHEET NUMBER

07/22/2024

24003

ALL WOOD SHEATHING PANELS SHALL HAVE 1/8" GAP BETWEEN ADJACENT PANELS ON ALL SIDES.

ALL WOOD SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19% OR

10. ALL WOOD SHALL HAVE AN EXTERIOR EXPOSURE RATING.

CODE DESIGN CRITERIA:

1. CODE: IBC 2018 2. ROOF LIVE LOAD: 20 PSF

ROOF SNOW LOAD: GROUND SNOW LOAD: Pg = 20 PSF MINIMUM ROOF SNOW LOAD: Pmin = 25 PSF FLAT-ROOF SNOW LOAD: Pf = 20 PSF + DRIFTING (IF ANY) SNOW EXPOSURE FACTOR: Ce = 1.0 SNOW IMPORTANCE FACTOR: Is = 1.0 THERMAL FACTOR: Cr = 1.0 SLOPE FACTOR: Cs = 1.0

BASIC WIND SPEED: 107 MPH RISK CATEGORY: II WIND EXPOSURE: B

ENGINEERED TIMBER CONSTRUCTION DESIGNED IN ACCORDANCE WITH THE LATEST "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" BY THE NATIONAL FOREST PRODUCTS ASSOCIATED.

WOOD BEAMS, RAFTERS AND OTHER STRUCTURAL WOOD MEMBERS SHALL BE DOUGLAS FIR - LARCH #2 UNLESS NOTED OTHERWISE.

TIMBER CONNECTIONS SHALL BE AS SHOWN ON THE DRAWINGS AND WHEN NOT DETAILED, SHALL CONFORM TO IBC FASTENING SCHEDULE TABLE 2304.10.1 OR ACCEPTED INDUSTRY STANDARDS SUBJECT TO THE ENGINEER'S APPROVAL.

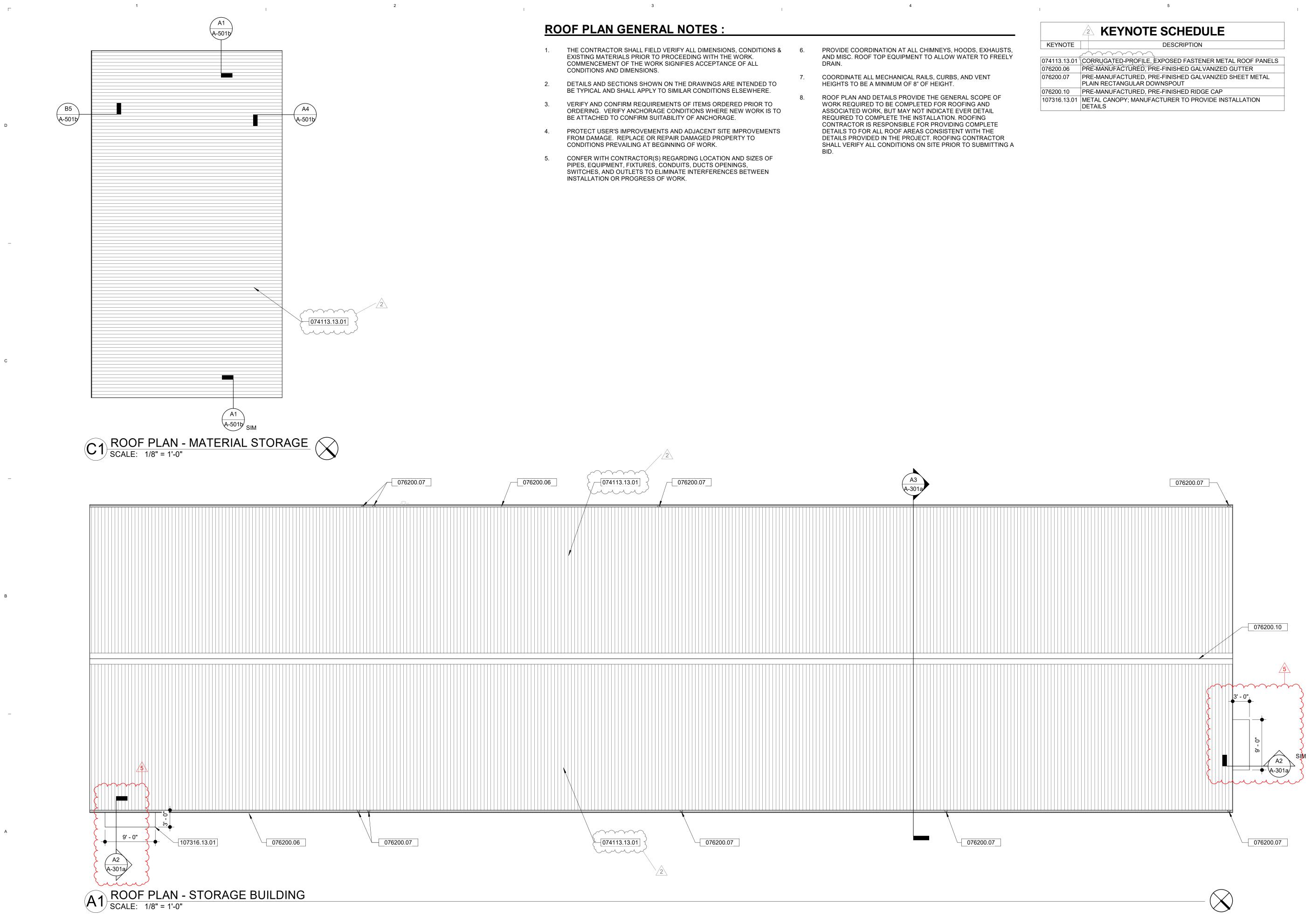
GLUE LAMINATED BEAMS SHALL HAVE DESIGN VALUES OF 24F-V4.

EXTERIOR PAINT GRADE

Fb (SINGLE MEMBER USE)------ 2400 PSI Fc (PARALLEL TO GRAIN)------ 1650 PSI Fc (PERPENDICULAR TO GRAIN)---- 650 PSI ----- 265 PSI Fv ----------- 1,800,000 PSI

LAMINATED VENEER LUMBER MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

----- 2800 PSI Fc (PARALLEL TO GRAIN)------ 3000 PSI Fc (PERPENDICULAR TO GRAIN)----- 750 PSI Fv ----- 285 PSI E ----- 2,000,000 PSI



Ι

I

В

L



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

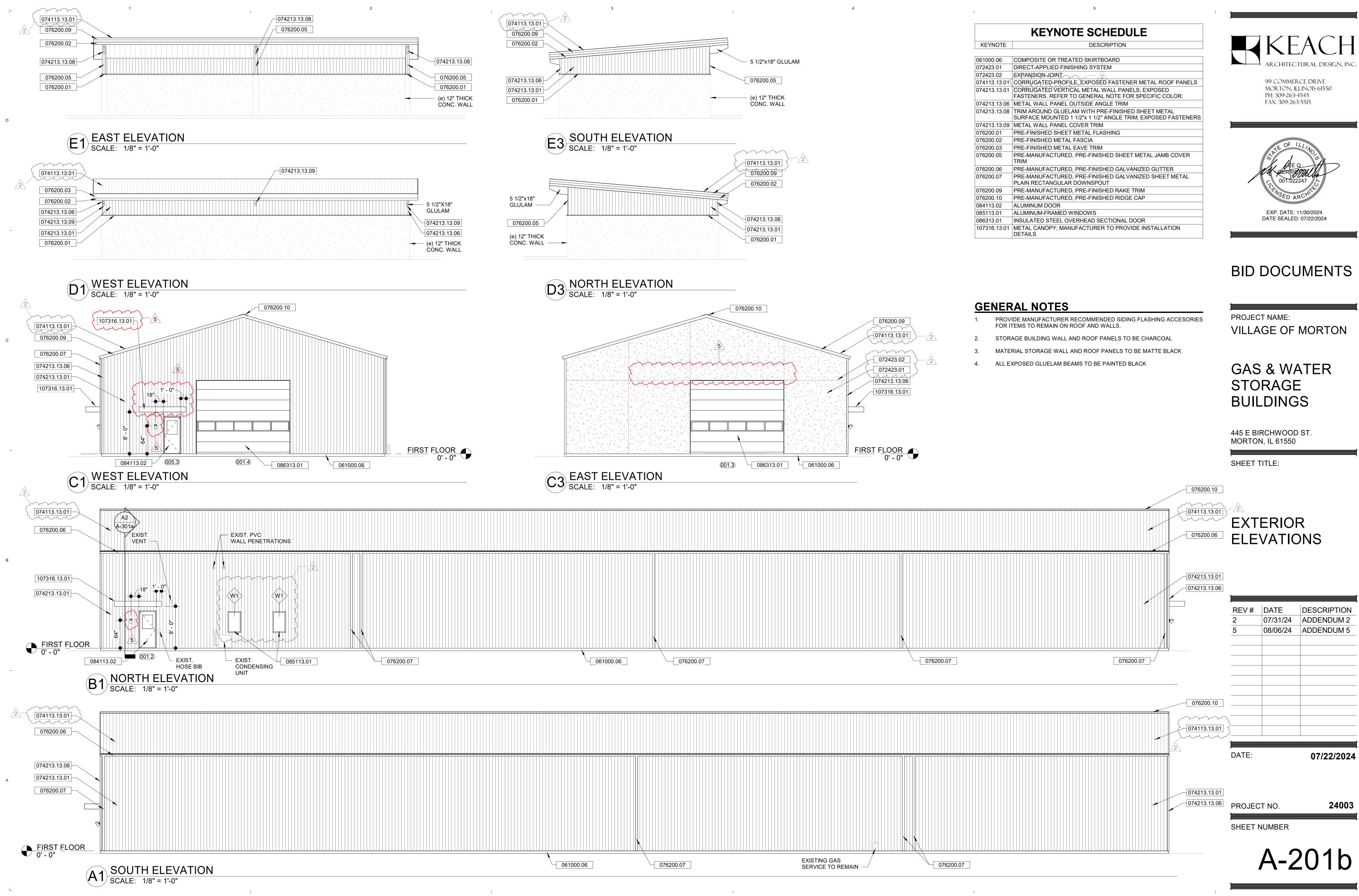
ROOF PLANS

		
REV #	DATE	DESCRIPTION
2	07/31/24	ADDENDUM 2
5	08/06/24	ADDENDUM 5
DATE:		07/22/2024

24003 PROJECT NO.

A-103b

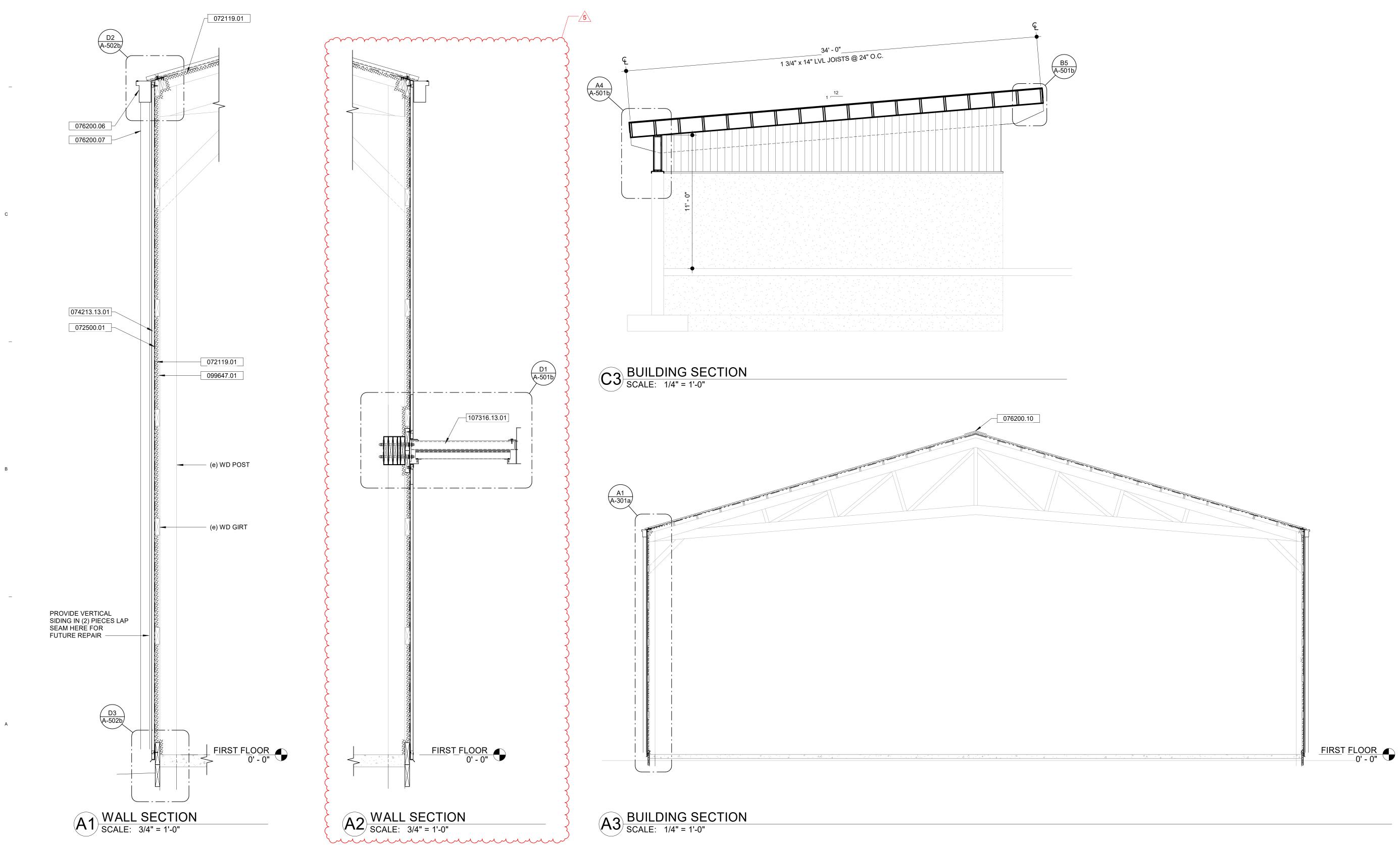
SHEET NUMBER



ΓE	DESCRIPTION
;	COMPOSITE OR TREATED SKIRTBOARD
	DIRECT-APPLIED FINISHING SYSTEM
	EXPANSION-JOINT
5.01 ⁽	CORRUGATED-PROFILE, EXPOSED FASTENER METAL ROOF PANELS
.01	CORRUGATED VERTICAL METAL WALL PANELS; EXPOSED FASTENERS. REFER TO GENERAL NOTE FOR SPECIFIC COLOR.
.06	METAL WALL PANEL OUTSIDE ANGLE TRIM
.08	TRIM AROUND GLUELAM WITH PRE-FINISHED SHEET METAL SURFACE MOUNTED 1 1/2"x 1 1/2" ANGLE TRIM; EXPOSED FASTENERS
.09	METAL WALL PANEL COVER TRIM
	PRE-FINISHED SHEET METAL FLASHING
2	PRE-FINISHED METAL FASCIA
	PRE-FINISHED METAL EAVE TRIM
	PRE-MANUFACTURED, PRE-FINISHED SHEET METAL JAMB COVER TRIM
i	PRE-MANUFACTURED, PRE-FINISHED GALVANIZED GUTTER
•	PRE-MANUFACTURED, PRE-FINISHED GALVANIZED SHEET METAL PLAIN RECTANGULAR DOWNSPOUT
)	PRE-MANUFACTURED, PRE-FINISHED RAKE TRIM
)	PRE-MANUFACTURED, PRE-FINISHED RIDGE CAP
	ALUMINUM DOOR
	ALUMINUM-FRAMED WINDOWS
	INSULATED STEEL OVERHEAD SECTIONAL DOOR
.01	METAL CANOPY; MANUFACTURER TO PROVIDE INSTALLATION DETAILS





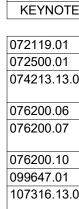


3

Г

D

L



1

1

T

KEYNOTE SCHEDULE

5

TE	DESCRIPTION
1	2" CLOSED-CELL SPRAY POLYURETHANE FOAM
1	WEATHER BARRIER
3.01	CORRUGATED VERTICAL METAL WALL PANELS; EXPOSED FASTENERS. REFER TO GENERAL NOTE FOR SPECIFIC COLOR.
6	PRE-MANUFACTURED, PRE-FINISHED GALVANIZED GUTTER
7	PRE-MANUFACTURED, PRE-FINISHED GALVANIZED SHEET METAL PLAIN RECTANGULAR DOWNSPOUT
C	PRE-MANUFACTURED, PRE-FINISHED RIDGE CAP
1	INTUMESCENT PAINT
3.01	METAL CANOPY; MANUFACTURER TO PROVIDE INSTALLATION DETAILS



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

SECTIONS

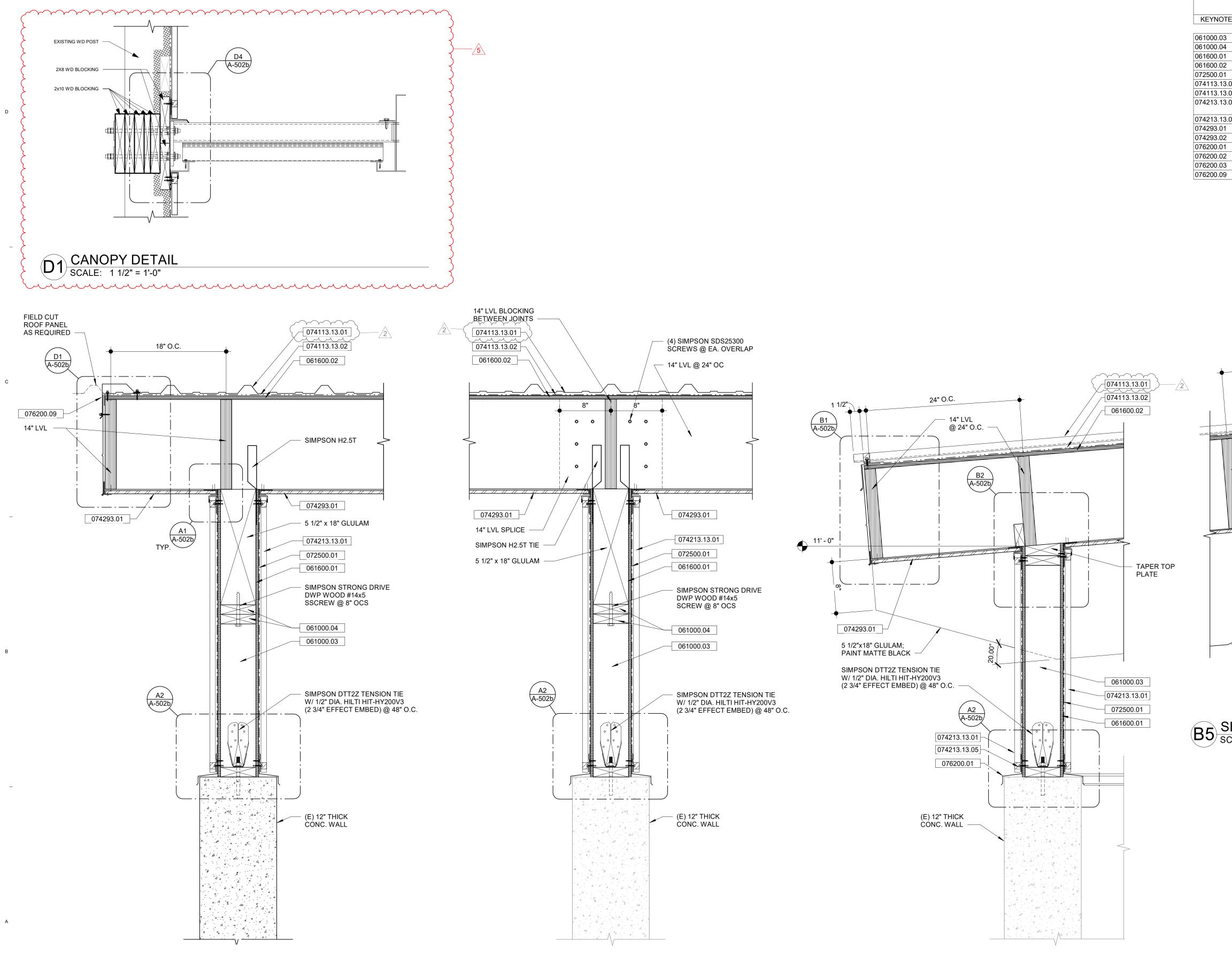
REV #	DATE	DESCRIPTION
5	08/06/24	ADDENDUM 5
DATE:		07/22/2024

PROJECT NO.

24003

SHEET NUMBER





I

3

2



I.

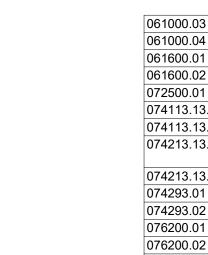
L

1

Г

1





I.

4

I

I

A4 SECTION DETAIL SCALE: 1 1/2" = 1'-0"

1

KEYNOTE SCHEDULE

5

ΓE	DESCRIPTION
5	2x6 WOOD STUD FRAMING @ 16" O.C.
	2x6 WOOD BLOCKING/FRAMING; PROVIDE FASTENERS AS REQ'D
	7/16" OSB SHEATHING
<u>)</u>	9/16" APA RATED PLYWOOD SHEATHING (FIRE RETARDANT)
	WEATHER BARRIER 2
8.01	CORRUGATED-PROFILE, EXPOSED FASTENER METAL ROOF PANELS
8.02	SELF-ADHERING, HIGH-TEMPERATURE UNDERLAYMENT
8.01	CORRUGATED VERTICAL METAL WALL PANELS; EXPOSED
	FASTENERS. REFER TO GENERAL NOTE FOR SPECIFIC COLOR.
8.05	METAL WALL PANEL INSIDE CLOSURE
	12" FLUSH SOFFIT PANEL
2	SOFFIT PANEL J CHANNEL
	PRE-FINISHED SHEET METAL FLASHING
2	PRE-FINISHED METAL FASCIA
5	PRE-FINISHED METAL EAVE TRIM
)	PRE-MANUFACTURED, PRE-FINISHED RAKE TRIM



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE BUILDINGS

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

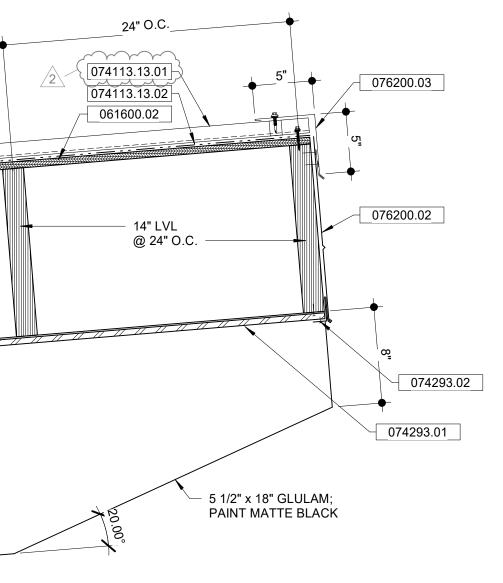
CONSTRUCTION DETAILS

REV #	DATE	DESCRIPTION
2	07/31/24	ADDENDUM 2
5	08/06/24	ADDENDUM 5
DATE:		07/22/2024

24003

SHEET NUMBER

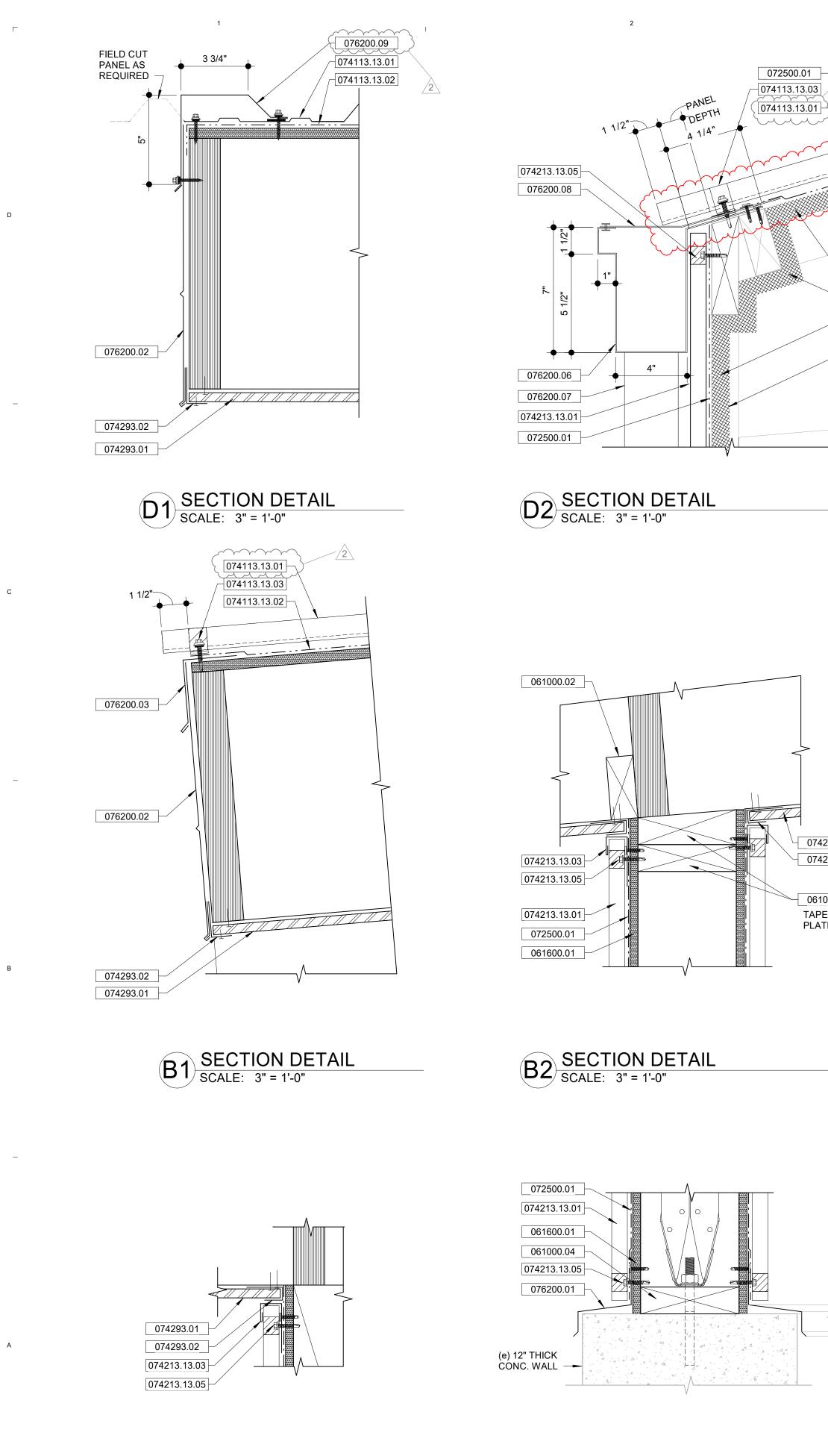
PROJECT NO.



B5 SECTION DETAIL SCALE: 1 1/2" = 1'-0"

I.

A-501b



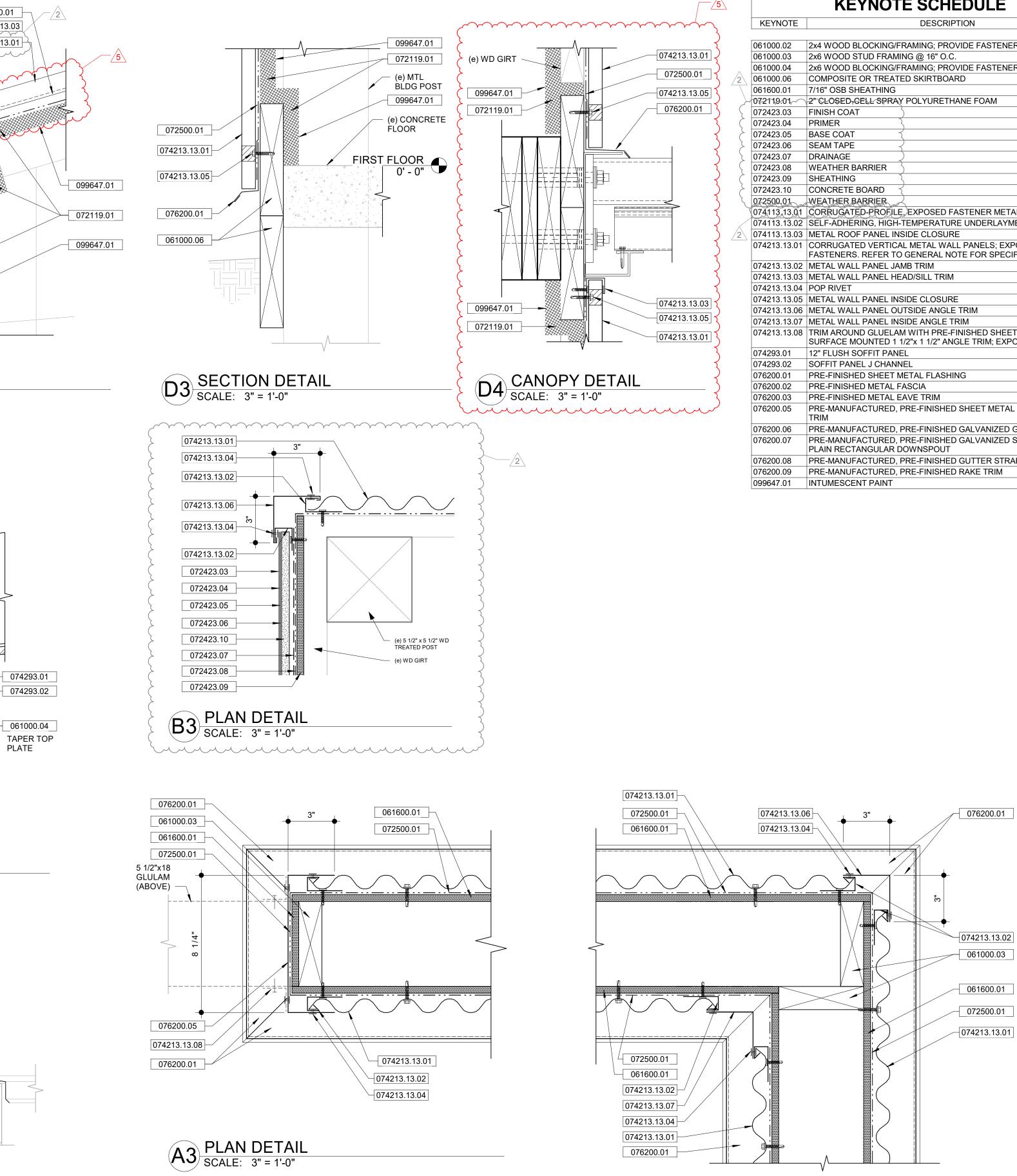
A1 SECTION DETAIL SCALE: 3" = 1'-0"

I

L

A2 SECTION DETAIL SCALE: 3" = 1'-0"

1



A4 PLAN DETAIL SCALE: 3" = 1'-0"

I

T

KEYNOTE SCHEDULE

E	DESCRIPTION
	2x4 WOOD BLOCKING/FRAMING; PROVIDE FASTENERS AS REQ'D
	2x6 WOOD STUD FRAMING @ 16" O.C.
	2x6 WOOD BLOCKING/FRAMING; PROVIDE FASTENERS AS REQ'D
	COMPOSITE OR TREATED SKIRTBOARD
	7/16" OSB SHEATHING
\sim	2" GLOSED, GELL SPRAY POLYURETHANE FOAM
	FINISH COAT
	PRIMER
	BASE COAT
	SEAM TAPE
	WEATHER BARRIER
	SHEATHING
	CONCRETE BOARD
\sim	WEATHER BARRIER
<u>0</u> 1	CORRUGATED-PROFILE, EXPOSED FASTENER METAL ROOF PANELS
02	SELF-ADHERING, HIGH-TEMPERATURE UNDERLAYMENT
03	METAL ROOF PANEL INSIDE CLOSURE
01	CORRUGATED VERTICAL METAL WALL PANELS; EXPOSED FASTENERS. REFER TO GENERAL NOTE FOR SPECIFIC COLOR.
02	METAL WALL PANEL JAMB TRIM
03	METAL WALL PANEL HEAD/SILL TRIM
04	POP RIVET
05	METAL WALL PANEL INSIDE CLOSURE
06	METAL WALL PANEL OUTSIDE ANGLE TRIM
07	METAL WALL PANEL INSIDE ANGLE TRIM
80	TRIM AROUND GLUELAM WITH PRE-FINISHED SHEET METAL
	SURFACE MOUNTED 1 1/2"x 1 1/2" ANGLE TRIM; EXPOSED FASTENERS
	12" FLUSH SOFFIT PANEL
	SOFFIT PANEL J CHANNEL
	PRE-FINISHED SHEET METAL FLASHING
	PRE-FINISHED METAL FASCIA
	PRE-FINISHED METAL EAVE TRIM
	PRE-MANUFACTURED, PRE-FINISHED SHEET METAL JAMB COVER TRIM
	PRE-MANUFACTURED, PRE-FINISHED GALVANIZED GUTTER
	PRE-MANUFACTURED, PRE-FINISHED GALVANIZED SHEET METAL PLAIN RECTANGULAR DOWNSPOUT
	PRE-MANUFACTURED, PRE-FINISHED GUTTER STRAP
	PRE-MANUFACTURED, PRE-FINISHED RAKE TRIM
	INTUMESCENT PAINT



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE **BUILDINGS**

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

CONSTRUCTION DETAILS

DATE:		07/22/2024
5	08/06/24	ADDENDUM 5
2	07/31/24	ADDENDUM 2
REV #	DATE	DESCRIPTION

DATE.

01/22/2024

PROJECT NO.

24003

SHEET NUMBER



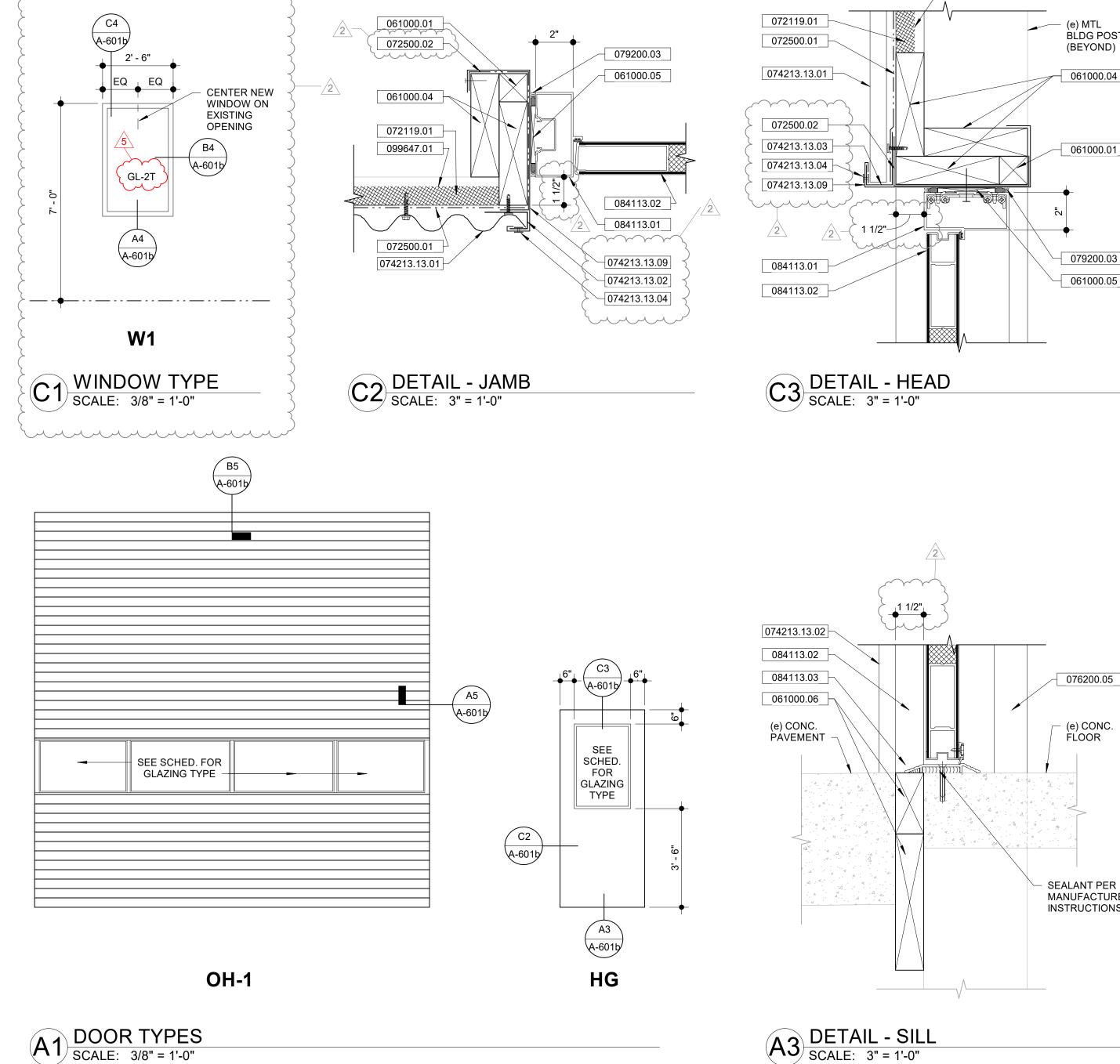
DOC	DOOR SCHEDULE													
NO.	DOOR						FRAME						FIRE	ŀ
	WIDTH	HEIGHT	THK.	TYPE	MAT'L	GLZ'G	TYPE	MAT'L	GLZ'G	HEAD	JAMB	SILL	RATING	1
				(\sim		\sim	<u>م</u>	$ \ \ $	\sim	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	\sim	
001.2	3' - 0"	7' - 0"		HG	ALUM	GL-2T }	ALUM	ALUM	2	C3/A601	C2/A601	A3/A601	{	
001.3	17' - 10"	14' - 0"		OH-1		GL-1T }	>	-	$\frac{1}{2}$	B5/A601 ^s ™	A5/A601 ^{sim}	}-		
001.4	17' - 10"	14' - 0"		OH-1		GL-1T	>		7 2 6	B5/A601	A5/A601			
005.3	3' - 0"	7' - 0"		HG	ALUM	GL-2T {	ALUM >	ALUM	7 6	C3/A601	C2/A601	A3/A601		
ARCH. GLAZING GENERAL NOTES: ARCH. GLAZING SCHEDULE:									\ ~~					
1 .		O ARCHITECT		OR AND WI	NDOW ELEV	ATIONS FOF	२	GL-1	г		AY TINTED - INSI I IRON INTERIOI)
2.	FIELD ME. TYPES.	ASURE ALL (OPENINGS	PRIOR TO	FABRICATIO	N OF GLAZII	NG	GL-2	Т		GRAY TINTED - I / IRON INTERIOI			
3.	ELEVATIO	ONS SHOWN ONS ARE NOM SHIM AND DE	MINAL AND	MAY NEED	ADJUSTME		ON							

1

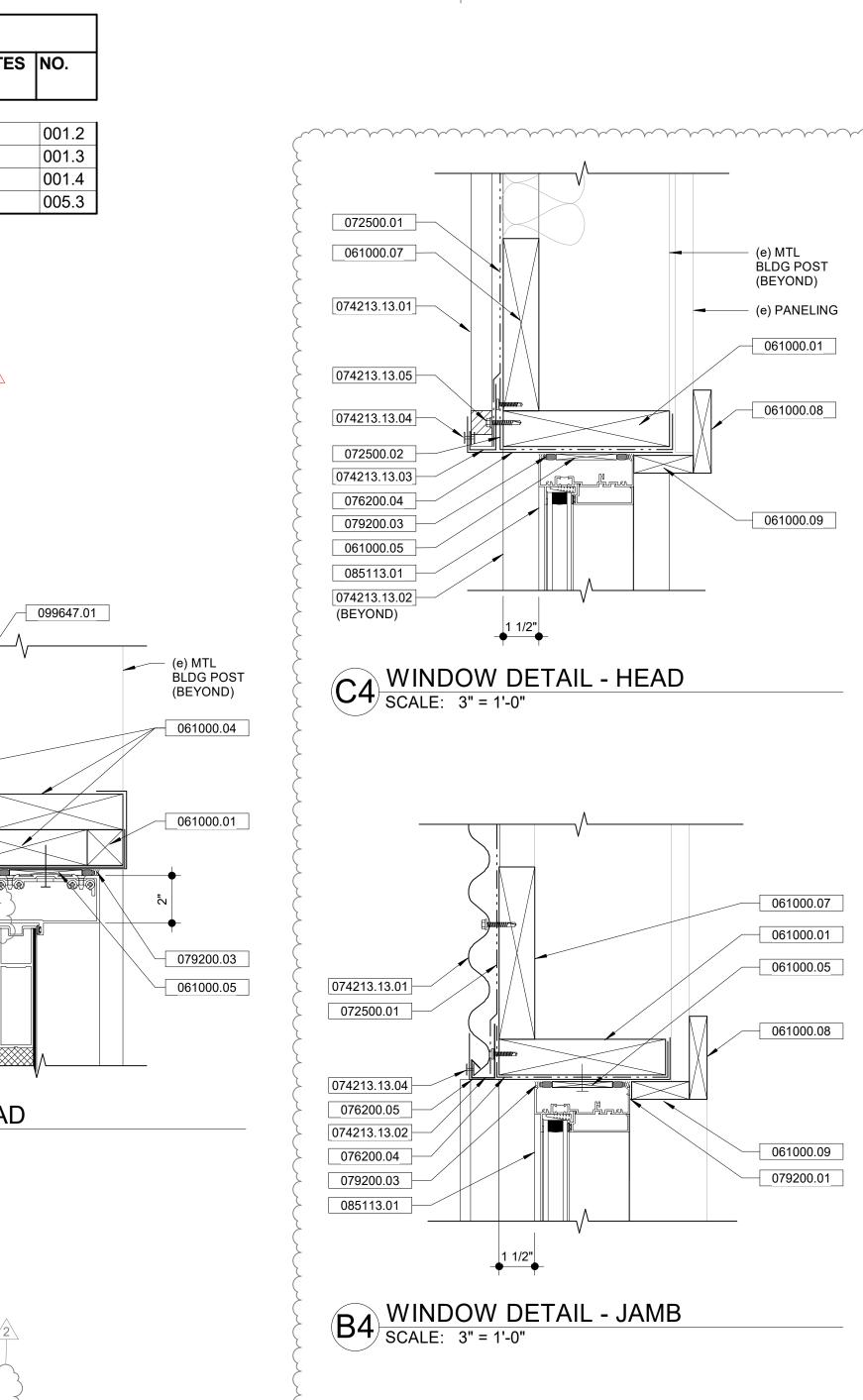
Г

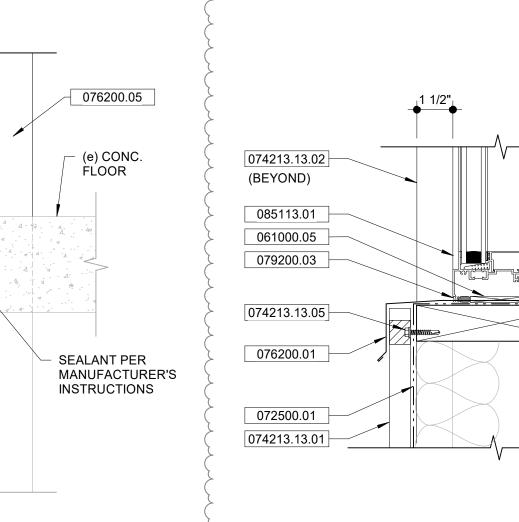
D

Α

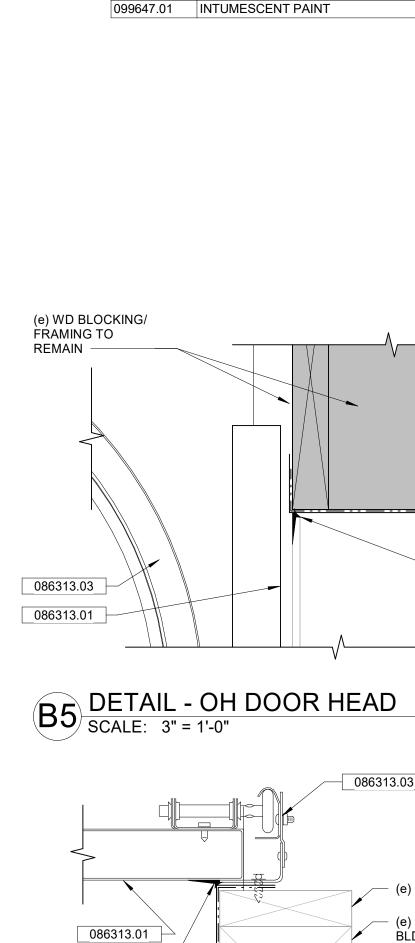


A3 DETAIL - SILL SCALE: 3" = 1'-0"









074213.13.02 074213.13.04

086313.02

076200.05

072500.01



HDW. SET NOTES NO. -⁄5∖

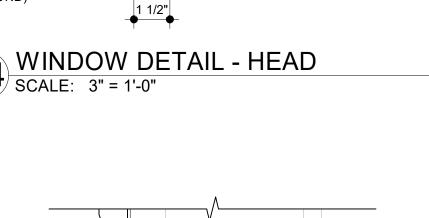
- (e) PANELING 061000.01 061000.08 061000.09

4

(e) MTL

BLDG POST

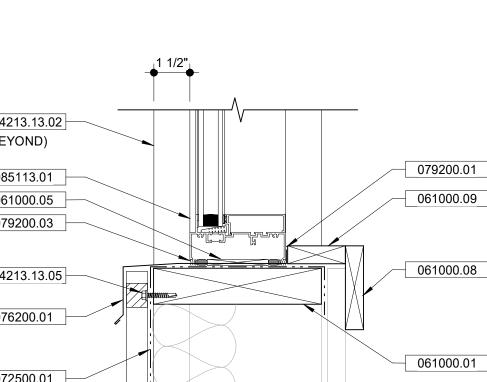
(BEYOND)



061000.07 061000.01

___061000.05___ 061000.08

061000.09 079200.01



(e) PANELING

2

KEYNOTE SCHEDULE

KEYNOTE

/2\

5

DESCRIPTION

061000.01	2x WOOD BLOCKING/FRAMING; PROVIDE FASTENERS AS REQ'D
061000.04	2x6 WOOD BLOCKING/FRAMING; PROVIDE FASTENERS AS REQ'D
061000.05	SHIM AS REQUIRED
061000.06	COMPOSITE OR TREATED SKIRTBOARD
061000.07	2x8 WOOD BLOCKING/FRAMING; PROVIDE FASTENERS AS REQ'D
061000.08	1x4 WOOD TRIM; PAINTED
061000.09	1x WOOD TRIM; PAINTED
072119.01	2" CLOSED-CELL SPRAY POLYURETHANE FOAM
072500.01	WEATHER BARRIER
072500.02	SELF-ADHERED FLASHING
074213.13.01	CORRUGATED VERTICAL METAL WALL PANELS; EXPOSED FASTENERS. REFER TO GENERAL NOTE FOR SPECIFIC COLOR.
074213.13.02	METAL WALL PANEL JAMB TRIM
074213.13.03	METAL WALL PANEL HEAD/SILL TRIM
074213.13.04	POP RIVET
074213.13.05	METAL WALL PANEL INSIDE CLOSURE
074213.13.09	METAL WALL PANEL COVER TRIM
076200.01	PRE-FINISHED SHEET METAL FLASHING
076200.04	PRE-MANUFACTURED, PRE-FINISHED SHEET METAL HEAD COVER TRIM
076200.05	PRE-MANUFACTURED, PRE-FINISHED SHEET METAL JAMB COVER TRIM
079200.01	CONTINUOUS SEALANT BEAD
079200.03	CONTINUOUS BACKER ROD AND SEALANT BEAD BOTH SIDES
084113.01	4 1/2" THERMALLY BROKE ALUMINUM-FRAMED STOREFRONT SYSTEM
084113.02	ALUMINUM DOOR
084113.03	THRESHOLD
085113.01	ALUMINUM-FRAMED WINDOWS
086313.01	INSULATED STEEL OVERHEAD SECTIONAL DOOR
086313.02	WEATHER SEAL
086313.03	OVERHEAD SECTIONAL DOOR TRACK
099647.01	INTUMESCENT PAINT



99 COMMERCE DRIVE MORTON, ILLINOIS 61550 PH: 309-263-4545 FAX: 309-263-5515



BID DOCUMENTS

PROJECT NAME: VILLAGE OF MORTON

GAS & WATER STORAGE **BUILDINGS**

445 E BIRCHWOOD ST. MORTON, IL 61550

SHEET TITLE:

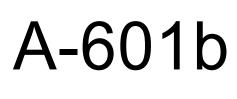
DOOR SCHEDULE & DETAILS

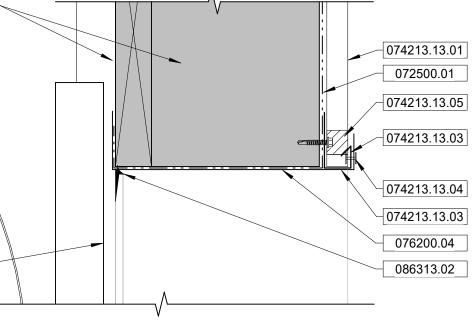
DATE:		07/22/2024
<u> </u>	00/00/24	
5	08/06/24	ADDENDUM 5
REV #	DATE 07/31/24	DESCRIPTION ADDENDUM 2
		DECODIDITION

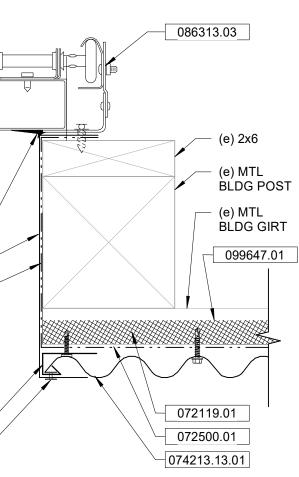
PROJECT NO.

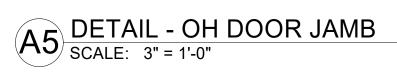
24003

SHEET NUMBER









	Calpine	Homefield	Constellation Homefield Constellation	Homefield	Constellation	Homefield	Homefield Constellation	Homefield	Constellation
Term	All-In	All-In	All-In	Energy Only w/Tariffs	Energy Only w/Tariffs	50% ATC & 50% INDEX	Energy Only 50% ATC & 50% 50% ATC & 50% w/Tariffs INDEX INDEX	100% Index Historical	100% Index Historical
12 month	N/A	\$493,812	\$482,794	\$493,812	\$482,794	\$455,092.04	\$440,401.03	\$409,442.51	\$398,008.47
24 month	\$481,338	\$501,573	\$502,682	\$501,573	\$502,682	\$461,224.84	\$457,621.38	\$413,946.82	\$412,560.88
36 month	\$491,594	\$515,918	\$512,591	\$515,918	\$512,591	\$471,272.93	\$468,397.10	\$420,322.17	\$424,202.81
48 Month	\$500,672	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Pricing for Village of Morton

Current Index Current All-In Current All-In Adder Rate \$0.04923 \$0.00425 Current Energy Only \$0.03361 3,464,860 3,464,860 6,929,720 Yearly Usage 8/15/2024 On Peak Off Peak Total

\$0.0156

ffs

Current

-	
	,122
	\$341,
	\$

-	Ğ
<u> </u>	
arifi	
Ë.	
	\sim
	5

			Homefield		
Term	All-In Commodity Rate	Energy Only	Index Adder	50% ATC	ATC Price w/Adder
12 months	\$0.07126	\$0.04592	\$0.00350	\$0.04342	\$0.04692
24 months	\$0.07238		\$0.00350	\$0.04389	\$0.04739
36 months	\$0.07445	\$0.04754	\$0.00350	\$0.04495	\$0.04845

\$0.02534 \$0.02599 \$0.02691

Estimated Tariffs

			Constellation			
Term	All-In Commodity Rate	Energy Only	Index Adder	50% ATC	ATC Price w/Adder	Estimated Tariffs
12 months	\$0.06967		07	\$0.04248	\$0.04531	\$0.02436
24 months	\$0.07254			\$0.04325	\$0.04611	\$0.02643
36 months	\$0.07397		\$0.00289	\$0.04300	\$0.04589	\$0.02808

		Calpine	oine			
Term	All-In Commodity Rate	Energy Only	Index Adder	50% ATC	ATC Price w/Adder	Estimated Tariffs
12 months	N/A	\$0.0000	\$0.00000	\$0.0000	\$0.0000	\$0.0000
24 months	\$0.06946	\$0.0000	\$0.00000	\$0.0000	\$0.00000	\$0.0000
36 months	\$0.07094		\$0.00000	\$0.0000	\$0.0000	\$0.0000
48 months	\$0.07225	\$0.0000	\$0.0000	\$0.0000	\$0.00000	\$0.00000

Ameren

RESOLUTION NO.

RESOLUTION AUTHORIZING ACCEPTANCE OF PERMANENT EASEMENTS OVER A PART OF 110 E. MADISON, MORTON

WHEREAS, Getz Exchange II, LLC desires to dedicate to the Village of Morton a permanent easement in the form attached as Exhibit A for utility services over a part of that parcel commonly known as 110 E. Madison, Morton Illinois.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MORTON, Tazewell County, Illinois, as follows:

- That the Permanent Easement in the form as attached as Exhibit A is hereby accepted by the Village of Morton.
- 2. The President and Clerk are authorized and directed to execute the Acceptance set forth on Exhibit A

BE IT FURTHER RESOLVED that this resolution shall be in full force and effect upon its passage and approval.

PASSED AND APPROVED at a regular meeting of the President and Board of Trustees of the Village of Morton, Tazewell County, Illinois, this _____ day of _____, 2024; and upon roll call the vote was as follows:

AYES:

NAYS:

ABSENT:

ABSTAINING:

APPROVED this _____ day of _____, 2024.

President

ATTEST:

Village Clerk

THIS DOCUMENT PREPARED BY
McGrath Law Office, P.C.
113 S. Main, P.O. Box 139
Mackinaw, Illinois 61755

RETURN DOCUMENT TO: McGrath Law Office, P.C. 113 S. Main, P.O. Box 139 Mackinaw, Illinois 61755

PERMANENT EASEMENT

For Recorder Use Only

GETZ EXCHANGE I, LLC and GETZ EXCHANGE II, LLC, hereinafter "GRANTOR" for and in consideration of One Dollar and other good and valuable consideration, hereby GRANTS and CONVEYS to the VILLAGE OF MORTON in the County of Tazewell and State of Illinois, hereinafter "GRANTEE", a permanent easement. This Easement is subject to the following terms and conditions:

A. <u>LEGAL DESCRIPTION OF EASEMENT</u>: This Easement hereby granted is set forth on the drawing and legal description that is set forth on the attached Exhibit A which is attached hereto an incorporated herein by reference.

Part of P.I.N.: 06-06-20-212-007

AFFIX TRANSFER TAX STAMP OR Exempt under provisions of 35 ILCS 205/31-45(b)

DATE Buyer, Seller Representative

B. <u>PURPOSE OF EASEMENT</u>: This Easement is for the installation, maintenance, construction and repair of the Village of Morton utilities, trash services, and any other public utilities. The land set forth in Exhibit A may also be used for public access to property that it adjoins.

C. <u>RIGHTS CONVEYED TO GRANTEE</u>: The GRANTEE, its successors and assigns, its agents, contractors and employees, with or without tools, machinery and equipment, are hereby given the right to dig, excavate, fill, install, repair, replace, construct, maintain, clean, and inspect as to such water main, to enter upon the premises, with or without tools, machinery and equipment, for such purposes. It is expressly understood and agreed that no buildings or other structures shall be placed on the property described within this Easement without the written consent of the GRANTOR and GRANTEE or its successors and assigns being first recorded in the Recorder's Office of Tazewell County, Illinois.

D. <u>RESERVATION OF RIGHT TO STORE REFUSE</u>: The GRANTOR hereby reserves the right to store refuse in containers approved by the GRANTEE on the property that is the subject of this easement. Such refuse containers shall not be permanently installed on the property that is the subject of this easement. The refuse containers may be moved by the GRANTEE in connection with exercising its rights under this easement.

E. <u>OBLIGATION OF THE GRANTEE:</u> Upon completion of any digging, excavation, installation, repair, replacement, construction, maintenance, cleaning, and inspection, the GRANTEE shall restore the surface of the land to the extent reasonably possible to a presentable condition and any such installation and construction shall be in such a manner as not to detract upon completion from the value of the adjoining real estate of the GRANTOR, their successors and assigns.

F. <u>BINDING EFFECT</u>: This Agreement is binding upon the parties hereto, their heirs, successors and assigns. The GRANTEE has accepted this Easement pursuant to authority granted by the Board of Trustees to the President and Clerk of the Village of Morton to execute its acceptance. It is expressly understood that the easement that is provided for herein is permanent, perpetual, and shall run with the land.

The remainder of this page has intentionally been left blank

IN WITNESS WHEREOF, the said GRANTOR has signed, sealed and delivered this Easement this 28th day of <u>Succ</u>, 2024, and thereafter the GRANTEE, VILLAGE OF MORTON, has accepted this Easement.

GRANTOR:

GETZ EXCHANGE I, LLC

By: Andrew Thoughton, Vice President of OSE Exchange inc., Monager

Subscribed and sworn to before me this 28 day of _____, 2024.



have the

The remainder of this page has intentionally been left blank

J:\Clients\McDantel Rentals, LLC\McDaniel Rentals, LLC (7978.3) Purchase of 108 Madison Street, Morton from The Monfre Group LLC\Permanent Easement Getz I & II.docx/kms

IN WITNESS WHEREOF, the said GRANTOR has signed, sealed and delivered this Easement this <u>18th</u> day of <u>1990</u>, 2024, and thereafter the GRANTEE, VILLAGE OF MORTON, has accepted this Easement.

GRANTOR:

GETZ EXCHANGE H, LLC By: Andrew Thompson, Vice President of DJF Exchange, Inc. Manager

Subscribed and sworn to before me this 23th day of 50th , 2024.

SHAYNA ROJAS Commission Number 854724 My Commission Expires March 18, 2027

Sharp Ky Notary Public

The remainder of this page has intentionally been left blank

ACCEPTANCE OF EASEMENT

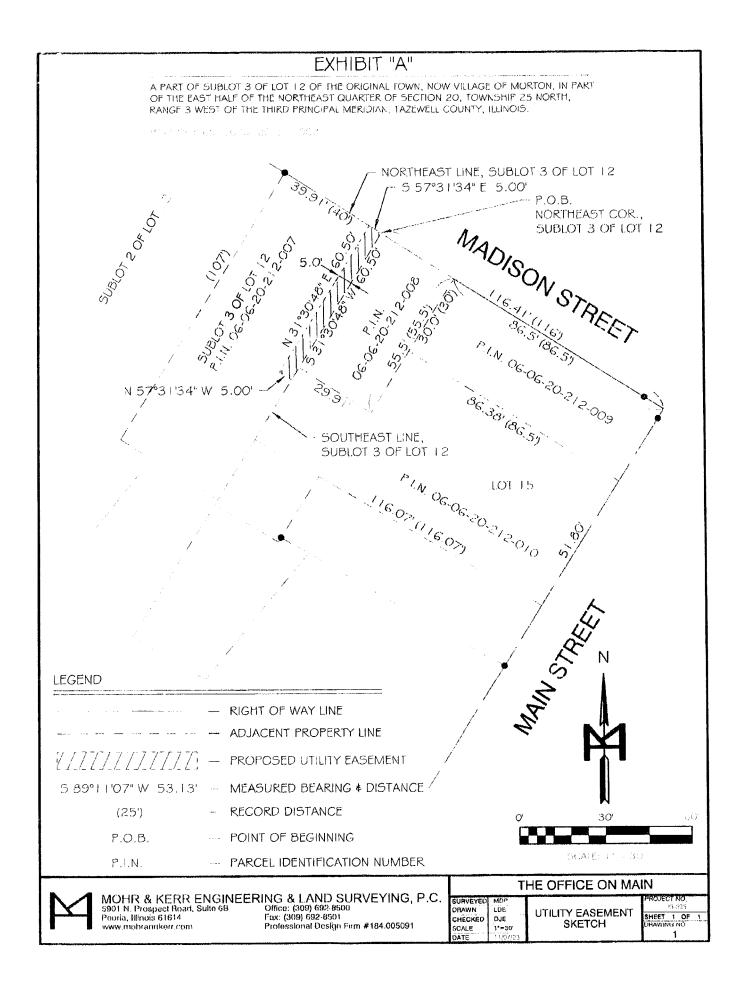
VILLAGE OF MORTON hereby accepts the foregoing Easement pursuant to authority granted by the Board of Trustees of the Village of Morton at a regularly scheduled meeting of the Board of Trustees of the Village of Morton held on the _____ day of _____, 20___. The President and Clerk of the Village of Morton have executed the Village's acceptance of this Easement pursuant to authority granted to them by the Board of Trustees at the foregoing meeting.

VILLAGE OF MORTON

BY: ZO EVANS, Village Clerk

ATTESTED TO:

JEFFREY L. KAUFMAN, Village President



A PART OF SUBLOT 3 OF LOT 12 OF THE ORIGINAL TOWN, NOW VILLAGE OF MORTON, IN PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 25 NORTH, RANGE 3 WEST OF THE THIRD PRINCIPAL MERIDIAN, TAZEWELL COUNTY, ILLINOIS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SUBLOT 3 OF LOT 12, THENCE SOUTH 31 DEGREES 30 MINUTES 48 SECONDS WEST, ALONG THE SOUTHEAST LINE OF SAID SUBLOT 3 OF LOT 12, 60.50 FEET; THENCE NORTH 57 DEGREES 31 MINUTES 34 SECONDS WEST, 5.00 FEET; THENCE NORTH 31 DEGREES 30 MINUTES 48 SECONDS EAST, PARALLEL WITH SAID SOUTHEAST LINE OF SUBLOT 3 OF LOT 12, 60.50 FEET TO THE NORTHEAST LINE OF SAID SUBLOT 3 OF LOT 12; THENCE SOUTH 57 DEGREES 31 MINUTES 34 SECONDS EAST, ALONG SAID NORTHEAST LINE, 5.00 FEET TO THE POINT OF BEGINNING, CONTAINING 302 SQUARE FEET, MORE OR LESS, SUBJECT TO ANY EASEMENTS, RESTRICTIONS AND RIGHT OF WAY OF RECORD.