

AGENDA
REGULAR MEETING OF THE BOARD OF TRUSTEES OF THE VILLAGE OF MORTON, ILLINOIS
7:00 P.M.
MONDAY, JULY 1, 2024
FREEDOM HALL, 349 W. BIRCHWOOD, MORTON, ILLINOIS

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. PLEDGE OF ALLEGIANCE TO THE FLAG**
- IV. PUBLIC HEARING**
- V. PRESENTATIONS AND SPECIAL REPORTS**
- VI. PUBLIC COMMENT**
 - A. Public Comments
 - B. Requests for Removal of Items from the Consent Agenda
- VII. CONSENT AGENDA**
 - A. Approval of Minutes
 - 1. Regular Meeting – June 17, 2024
 - 2. Closed Session – June 17, 2024
 - B. Approval of Bills
- VIII. CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA**
- IX. VILLAGE PRESIDENT**
- X. VILLAGE CLERK**
- XI. VILLAGE ADMINISTRATOR**
- XII. CHIEF OF POLICE**
- XIII. CORPORATION COUNSEL**
- XIV. DIRECTOR OF FIRE AND EMERGENCY SERVICES**
- XV. DIRECTOR OF PUBLIC WORKS**
 - A. Resolution Approving Easement With Trails At Timber Oaks, LLC
 - B. Resolution Authorizing Local Match To Federal Proposal For Main Street Pavement Improvements And Shared Use Path
 - C. Resolution Authorizing Amendment To Natural Gas Management Agreement Between Utility Gas Management And Village Of Morton
- XVI. ZONING AND CODE ENFORCEMENT OFFICER**
 - A. Petition No. 24-02 ZA
 - B. Petition No. 24-03 ZA
 - C. Petition No. 24-04 SP
- XVII. VILLAGE TRUSTEES**
 - A. Trustee Blunier
 - B. Trustee Hilliard
 - C. Trustee Leitch
 - D. Trustee Menold
 - E. Trustee Newman
 - F. Trustee Parrott
- XVIII. CLOSED SESSIONS**
- XIX. CONSIDERATION OF MATTERS ARISING FROM CLOSED SESSIONS**
- XX. ADJOURNMENT**

**VILLAGE BOARD OF TRUSTEES
REGULAR MEETING
7:00 P.M., June 17, 2024**

After calling the meeting to order, the Pledge of Allegiance was recited before Clerk Evans called the roll, finding the following members present: Blunier, Leitch, Menold, Parrott – 4.

PUBLIC HEARING – None.

PRESENTATIONS – None.

PUBLIC COMMENT – Joel Dickerson of the Morton Park District spoke about their events and gave thanks to Village departments for their efforts in such events.

CONSENT AGENDA

- A. Approval of Minutes.
 - 1. Regular Meeting – June 3, 2024
- B. Approval of Bills

Trustee Leitch moved to approve the Consent Agenda. Motion was seconded by Trustee Parrott and approved with the following roll call vote:

Yes: Blunier, Leitch, Menold, Parrott – 4.
No: None – 0.
Absent: Hilliard, Newman – 2.
Abstain: None – 0.

VILLAGE PRESIDENT – President Kaufman requested approval of \$12,500.00 for half the cost of the Morton Fireworks display to be paid to Morton Park District. Trustee Parrott moved to approve and it was seconded by Trustee Menold before approval by the following roll call vote:

Yes: Blunier, Leitch, Menold, Parrott – 4.
No: None – 0.
Absent: Hilliard, Newman – 2.
Abstain: None – 0.

VILLAGE CLERK – None.

VILLAGE ADMINISTRATOR – Administrator Smick presented a Building Improvement Grant recommendation. Trustee Leitch moved to approve and it was seconded by Trustee Parrott before approval by the following roll call vote:

Yes: Blunier, Leitch, Menold, Parrott – 4.
No: None – 0.
Absent: Hilliard, Newman – 2.
Abstain: None – 0.

CHIEF OF POLICE – None.

CORPORATION COUNSEL – None.

DIRECTOR OF FIRE AND EMERGENCY SERVICES – None.

DIRECTOR OF PUBLIC WORKS – DPW Loudermilk presented A Resolution Authorizing Purchase of Real Property From Greiner/McCallie/Rueb For Flint Avenue Extension. Trustee Menold moved to approve and it was seconded by Trustee Parrott before approval by the following roll call vote:

Yes: Blunier, Leitch, Menold, Parrott – 4.

No: None – 0.

Absent: Hilliard, Newman – 2.

Abstain: None – 0.

Next, DPW Loudermilk requested acceptance of bid for exterior protective coating restoration for the North Main Street water tower in the amount of \$247,600.00 and award of contract for same to Tricot, LLC (Pacific, MO). Trustee Leitch moved to approve and it was seconded by Trustee Parrott before approval by the following roll call vote:

Yes: Blunier, Leitch, Menold, Parrott – 4.

No: None – 0.

Absent: Hilliard, Newman – 2.

Abstain: None – 0.

After that, DPW Loudermilk requested to waive formal bidding and accept a proposal from Drake-Scruggs Equipment Inc. (Springfield, IL) for a Stellar TMAX1-11 Aluminum Mechanics Body and 8630 Crane Package in the amount of \$178,200.00, and from Karl Ford (Story City, IA) for a Ford F550 4WD Regular Cab Chassis in the amount of \$57,989.00. Trustee Parrott moved to approve and it was seconded by Trustee Leitch before approval by the following roll call vote:

Yes: Blunier, Leitch, Menold, Parrott – 4.

No: None – 0.

Absent: Hilliard, Newman – 2.

Abstain: None – 0.

Foinally, DPW Loudermilk proposed Resolution to Donate 450 sq ft of land to IDOT for Birchwood Intersection Widening: Contract No. 89853. Trustee Parrott moved to approve and it was seconded by Trustee Menold before approval by the following roll call vote:

Yes: Blunier, Leitch, Menold, Parrott – 4.

No: None – 0.

Absent: Hilliard, Newman – 2.

Abstain: None – 0.

ZONING AND CODE ENFORCEMENT OFFICER – None.

VILLAGE TRUSTEES

Trustee Blunier – None.

Trustee Hilliard – None.

Trustee Leitch – None.

Trustee Menold – None.

Trustee Newman – None.

Trustee Parrott – None.

CLOSED SESSIONS – Trustee Parrott moved to enter into Closed Session pursuant to 5 ILCS 120/2(c)(5) to discuss the purchase or lease of real property for the use of the Village. The motion was seconded by Trustee Leitch and approved by the following roll call vote:

Yes: Blunier, Leitch, Menold, Parrott – 4.

No: None – 0.

Absent: Hilliard, Newman – 2.

Abstain: None – 0.

CONSIDERATION OF MATTERS ARISING FROM CLOSED SESSIONS – Following the Closed Session, Clerk Evans called the roll, finding the following members present: Blunier, Leitch, Menold, Parrott – 4. Attorney McGrath presented A Resolution Authorizing The Purchase Of Real Property From David J. Knit Trust Known As 325 S. First Avenue. This item was brought forth for discussion by a motion from Trustee Leitch and second from Trustee Parrott. Then, Trustee Leitch moved to amend the contract by providing a \$33,000.00 hold back from the purchase price to be held in the McGrath Law Office escrow account for release only upon cleanup of the property as agreed, extending the lease term to run for one calendar year beginning on the closing date, and extending the closing date to July 12, 2024 or before. Trustee Menold seconded the motion to amend and the amendment was approved by the following roll call vote:

Yes: Blunier, Leitch, Menold – 3.

No: Parrott – 1.

Absent: Hilliard, Newman – 2.

Abstain: None – 0.

Following approval of the amendment, the amended Resolution was approved by the following roll call vote:

Yes: Blunier, Leitch, Menold, Parrott – 4.

No: None – 0.

Absent: Hilliard, Newman – 2.

Abstain: None – 0.

ADJOURNMENT – With no further business to come before the Board, Trustee Menold moved to adjourn. The motion was seconded by Trustee Parrott and followed by unanimous voice vote of all present board members.

PRESIDENT

ATTEST:

VILLAGE CLERK

RESOLUTION NO. _____

RESOLUTION APPROVING EASEMENT WITH TRAILS AT TIMBER OAKS, LLC

WHEREAS, the Village of Morton (hereinafter the "VILLAGE") has requested that TRAILS AT TIMBER OAKS, LLC, an Illinois Limited Liability Company, with principal offices in Plano, TX, (hereinafter "TRAILS") execute a permanent storm sewer and drainage easement over certain property owned by TRAILS and legally described in the attached easement; and,

WHEREAS, TRAILS is willing to grant the Village of Morton said permanent easement for the consideration of one-dollar (\$1.00) and other valuable consideration which is acknowledged by TRAILS.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MORTON, Tazewell County, Illinois, as follows:

1. The easement in the form as attached to this agreement as Exhibit A is approved; and
2. The President of the Board of Trustees is authorized to execute the easement on behalf of the VILLAGE.

BE IT FURTHER RESOLVED that this resolution shall be in full force and effect upon its passage and approval.

PASSED AND APPROVED at a regular meeting of the President and Board of Trustees of the Village of Morton, Tazewell County, Illinois, this _____ day of _____, 2024 and upon roll call the vote was as follows:

AYES:

NAYS:

ABSENT:

ABSTAINING:

APPROVED this _____ day of _____, 2024.

Village President

ATTEST: _____
Village Clerk

THIS DOCUMENT PREPARED BY:
McGrath Law Office, P.C.
1600 S. Fourth Ave. Ste 137
Morton, IL 61550

RETURN DOCUMENT TO:
McGrath Law Office, P.C.
1600 S. Fourth Ave. Ste 137
Morton, IL 61550

EASEMENT

For Recorder Use Only

PERMANENT DRAINAGE AND STORM SEWER EASEMENT

THIS INDENTURE WITNESSETH, THAT THE GRANTOR, TRAILS AT TIMBER OAKS, LLC , an Illinois Limited Liability Company (Grantor), for and in consideration of the sum of One Dollar (\$1.00), and other good and valuable consideration, the receipt of which is hereby acknowledged, and of the covenants and agreements herein expressed, does hereby grant unto THE VILLAGE OF MORTON, ILLINOIS, an Illinois municipal corporation, its successors and assigns (Grantee), a permanent drainage and storm sewer easement in, over and across the premises described as follows:

SEE PLAT AND LEGAL DESCRIPTION ATTACHED.

PART OF PIN: 05-05-01-202-008

FOR THE BENEFIT OF PINS: 05-05-01-202-015; 06-06-06-101-001

Situated in the Village of Morton, the County of Tazewell and State of Illinois.

Said drainage and storm sewer easement is for the purpose of clearing, grading and trenching for, laying, constructing, maintaining, replacing and repairing a drainage and storm sewer.

The Grantor herein for itself and its assigns covenants and agrees that no permanent building or improvements shall ever be constructed on the land herein above described except that fencing may be installed so long as it does not obstruct the easement area. Damage during construction to any trees, shrubbery or other items of landscape shall be held to a minimum by the Grantee, but the Grantee shall have the right to remove trees or shrubbery within the area covered by this easement when such removal is necessary to construct and maintain the utilities or for the access of equipment during same.

To these covenants and agreements, the undersigned hereby bind themselves, and their assigns, forever.

The Grantor and Grantee state that the easement area described herein is Non-homestead property.

IN WITNESS WHEREOF, the Grantor and Grantee have hereunto set their Hands and Seals on this 12th day of JUNE, A.D. 2024.

GRANTOR:
TRAILS AT TIMBER OAKS, LLC

By: 

Print Name: James K. Jacobs
Title: Manager

GRANTEE:
VILLAGE OF MORTON, ILLINOIS

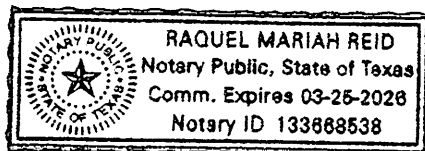
By : _____

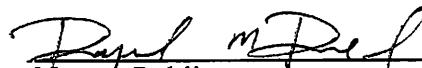
Print Name: Jeffrey L. Kaufman
Title: Village President

STATE OF ILLINOIS)
) SS.
COUNTY OF TAZEWELL)

I, the undersigned, a Notary Public in and for said County and State aforesaid, DO HEREBY CERTIFY that James K. Jacobs, personally known to me to be the Manager of TRAILS AT TIMBER OAKS, LLC an Illinois Limited Liability Company, and personally known to me to be the same person whose name is subscribed to the foregoing instrument as such Manager, appeared before me this day in person and acknowledged that he signed, sealed and delivered the said instrument as his free and voluntary act as such Manager, for the uses and purposes therein set forth; and on his oath stated that he was duly authorized to execute said instrument.

GIVEN under my hand and notarial seal this 12th day of June, 2024.



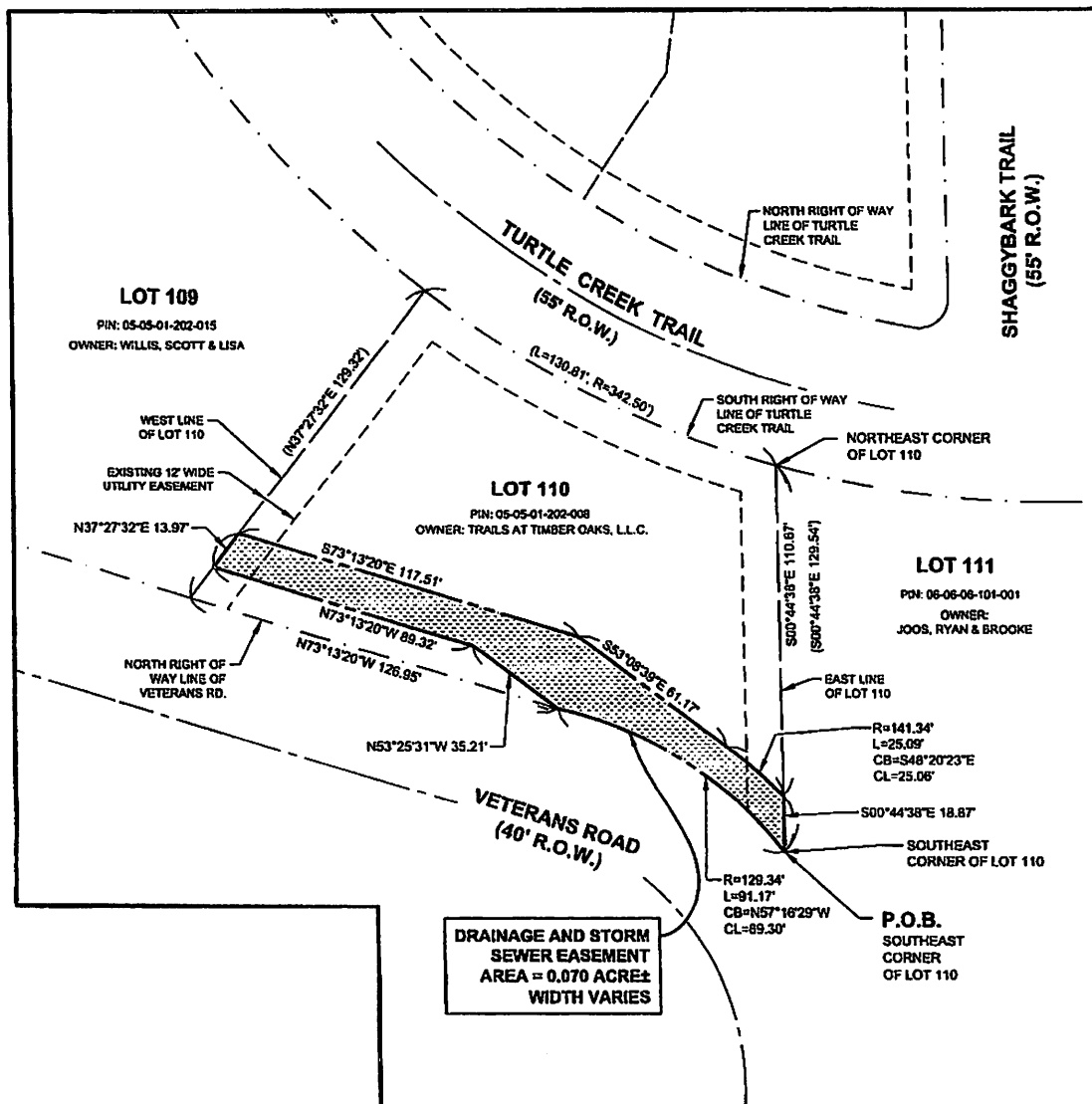

Notary Public

STATE OF ILLINOIS)
) SS.
COUNTY OF TAZEWELL)

I, the undersigned, a Notary Public in and for said County and State aforesaid, DO HEREBY CERTIFY that Jeffrey L. Kaufman, personally known to me to be the Village President of the Village of Morton, Illinois and personally known to me to be the same person whose name is subscribed to the foregoing instrument as such Village President, appeared before me this day in person and acknowledged that he signed, sealed and delivered the said instrument as his free and voluntary act as such Village President , for the uses and purposes therein set forth; and on his oath stated that he was duly authorized to execute said instrument.

GIVEN under my hand and notarial seal this _____ day of _____, 2024.

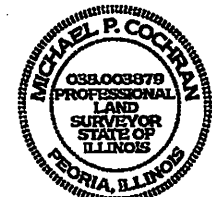
Notary Public



LEGAL DESCRIPTION OF DRAINAGE AND STORM SEWER EASEMENT

A PART OF LOT 110 IN TRAILS AT TIMBER OAKS SUBDIVISION PHASE I, SAID SUBDIVISION LOCATED IN SECTION 1 TOWNSHIP 25 NORTH, RANGE 4 WEST, NORTHEAST 1/4, THE PLAT OF WHICH IS RECORDED IN PLAT BOOK FFF, ON PAGES 59-60, AS DOCUMENT NO. 20080001937, SITUATED IN THE COUNTY OF TAZEWELL, IN THE STATE OF ILLINOIS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 110; THENCE PROCEEDING NORTH-WESTERLY ALONG THE NORTH RIGHT OF WAY LINE OF VETERANS ROAD, ON A CURVE, CONVEX TO THE NORTHWEST, HAVING RADIUS 129.34 FEET, A CHORD BEARING OF NORTH 67°-18'-28" WEST, A CHORD LENGTH OF 89.30 FEET, AND ARCH LENGTH OF 91.17 FEET; THENCE NORTH 53°-25'-31" WEST, A DISTANCE OF 35.21 FEET; THENCE NORTH 73°-13'-20" WEST, A DISTANCE OF 89.32 FEET, TO THE WEST LINE OF LOT 110; THENCE NORTH 37°-27'-32" EAST, ALONG SAID WEST LINE, A DISTANCE OF 13.97 FEET; THENCE SOUTH 73°-13'-20" EAST, A DISTANCE OF 117.51 FEET; THENCE SOUTH 53°-08'-39" EAST, A DISTANCE OF 61.17 FEET, THENCE PROCEEDING SOUTHEASTERLY ON A CURVE, CONVEX TO THE NORTHWEST, HAVING RADIUS 141.34 FEET, A CHORD BEARING OF SOUTH 48°-20'-23" EAST, A CHORD LENGTH OF 25.08 FEET, AND ARCH LENGTH OF 25.09 FEET; THENCE SOUTH 00°-44'-38" EAST, ALONG EAST LINE OF SAID LOT, A DISTANCE OF 18.87 FEET TO THE POINT OF BEGINNING, SAID EASEMENT CONTAINING 0.07 ACRE, MORE OR LESS.



BY: MICHAEL P. COCHRAN ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3879
 AUSTIN ENGINEERING COMPANY, INC. (309) 691-0224 311 SW WATER ST., STE. 215 PEORIA, IL 61602
 mcochran@austinengineeringcompany.com

LICENSE EXPIRES NOVEMBER 30, 2024

AUSTIN ENGINEERING CO., INC.
 Consulting Engineers / Surveyors
 311 SW Water St., Suite 215
 Peoria, Illinois 61602
 License No. 184-001143



DRAINAGE & STORM SEWER EASEMENT PLAT
 A PART OF LOT 110 OF TRAILS AT TIMBER OAKS SUBDIVISION PHASE I
 FOR THE VILLAGE OF MORTON

EASEMENT PLAT

167.8'	0.070 AC
13.97'	0.000 AC
117.51'	0.000 AC
61.17'	0.000 AC
25.08'	0.000 AC
18.87'	0.000 AC
TOTAL	0.070 AC

RESOLUTION NO. _____ -

**RESOLUTION AUTHORIZING LOCAL MATCH TO FEDERAL PROPOSAL
FOR MAIN STREET PAVEMENT IMPROVEMENTS AND SHARED USE PATH**

WHEREAS, the Director of Public Works has recommended resurfacing of Main Street from just south of Third Avenue to Courtland Street, portland cement concrete pavement patching of Main Street from Jackson Street to south of Third Avenue, and the construction of a 10 foot shared use path from Nebraska Avenue to Courtland Street. The improvements include milling, resurfacing, patching, curb and gutter, and storm sewer; and

WHEREAS, the Village of Morton desires to pursue federal grant funding for this project through the Peoria-Pekin Urbanized Area Transportation Study (PPUATS)

WHEREAS, PPUATS requires a resolution from the Village of Morton to approve of making the request for federal grant funds for the proposed Main Ave. improvements project.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MORTON, Tazewell County, Illinois, as follows:

1. The Director of Public Works is authorized to take such action as may be necessary to seek federal grant funds through PPUATS for the Main Avenue project.
2. The Village of Morton hereby commits to providing at least a 20% local funding match, in an amount of not less than \$800,000.00

BE IT FURTHER RESOLVED that this resolution shall be in full force and effect upon its passage and approval.

PASSED AND APPROVED at a regular meeting of the President and Board of Trustees of the Village of Morton, Tazewell County, Illinois, this _____ day of _____, 2024; and upon roll call the vote was as follows:

AYES:

NAYS:

ABSENT:

ABSTAINING:

APPROVED this _____ day of _____, 2024.

President

ATTEST:

Village Clerk

RESOLUTION NO. _____

**RESOLUTION AUTHORIZING AMENDMENT TO NATURAL GAS MANAGEMENT AGREEMENT
BETWEEN UTILITY GAS MANAGEMENT AND VILLAGE OF MORTON**

WHEREAS, Village of Morton and Utility Gas Management (“UGM”) are parties to a certain Natural Gas Management Agreement dated November 5, 2018; and

WHEREAS, the Village and UGM desire to amend the Natural Gas Management Agreement.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MORTON, Tazewell County, Illinois, as follows:

1. The Amendment to Natural Gas Management Agreement between Utility Gas Management and Village of Morton attached hereto as Exhibit A is hereby approved.
2. The Director of Public Works is hereby authorized and directed to execute the aforesaid Amendment.

BE IT FURTHER RESOLVED that this resolution shall be in full force and effect upon its passage and approval.

PASSED AND APPROVED at a regular meeting of the President and Board of Trustees of the Village of Morton, Tazewell County, Illinois, this _____ day of _____, 2024; and upon roll call the vote was as follows:

AYES:

NAYS:

ABSENT:

ABSTAINING:

APPROVED this _____ day of _____, 2024.

President

ATTEST:

Village Clerk

**AMENDMENT TO
NATURAL GAS MANAGEMENT AGREEMENT
BETWEEN UTILITY GAS MANAGEMENT AND
VILLAGE OF MORTON, ILLINOIS**

THIS AMENDMENT TO THE NATURAL GAS MANAGEMENT AGREEMENT (“NGMA”) is entered into on July 1, 2024 and is effective July 1, 2024, (this “Amendment”), between UTILITY GAS MANAGEMENT (“MANAGER”) and Village of Morton, Illinois, (“CLIENT”).

WHEREAS, MANAGER and CLIENT are parties to a NGMA amended on November 5, 2018; and

WHEREAS, MANAGER and CLIENT have agreed to amend certain terms and conditions of the NGMA;

NOW, THEREFORE, in consideration of the premises and the respective promises, conditions, terms and agreements contained herein, and other good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, MANAGER and CLIENT do hereby agree that Section 5.1 Price (a) shall be replaced in its entirety as follows:

1. Section 5.1 Price.

- (a) For all volumes delivered to CLIENT that are not volumes delivered to CLIENT pursuant to the PEFA Agreement (Non PEFA Volumes”), for all such management services provided by MANAGER, CLIENT shall pay MANAGER a Monthly Management Fee of eight cents (\$.08) per MMBtu delivered to the specified Point of Delivery into the Transporting Pipeline; and

3. Except as otherwise stated in this Amendment, all other terms and conditions of the NGMA shall remain in full force and effect.

4. This Amendment may be executed by the Parties in separate counterparts and initially delivered by facsimile transmission or otherwise to all such counterparts and shall together constitute one and the same instruments.

5. This Amendment shall be governed by, construed and enforced under the laws of the State of Kansas without giving effect to its conflicts of laws principles.

IN WITNESS WHEREOF, each Party has caused this Amendment to be executed by its duly authorized representative, effective as of the Effective Date.

MANAGER: UTILITY GAS MANAGEMENT

Signature

Printed Name: Ron Ragan

Title: Partner

Date: 7/1/2024

CLIENT: VILLAGE OF MORTON, ILLINOIS

Signature

Printed Name: Craig Loudermilk

Title: Director of Public Works

Date: 7/1/2024

PETITION FOR ZONING AMENDMENT / SPECIAL USE PERMIT

Petition Number: 24-02 ZA

Date: 6/3/2024

1. Legal Description: SEC 20 T25N R3W WICKS 1ST ADDN LOT 6 & E 10 OF LOT 7 NE 1/4

Street Address: 109 W CHICAGO ST

2. Area of subject property: 9010 sq. ft. or _____ Ac.

3. Present land use: Commercial

Proposed land use or special use: Residential

Requested zoning change: from B-2 District to R-1 District

4. Surrounding zoning districts:

North B-3 East B-2 South R-1 West R-1

5. Subject property is owned by:

Name: LT REALTY, LLC

Address: 420 E JEFFERSON ST MORTON, IL 61550

(If subject property is owned by a trustee, a written statement must be furnished by the trustee, disclosing the names of all beneficial owners. A change in any of the beneficial owners during the amendment/special use process must be disclosed immediately.)

6. A list of names and addresses of all property owners in the petition area (within 250 feet of the area affected by this petition) will be provided by the Village of Morton and attached hereto.

7. A statement is attached hereto, indicating why, in our opinion, the amendment or special use requested is necessary for the preservation and enjoyment of substantial property rights, and why such amendment or special use will not be detrimental to the public welfare, nor the property of other persons located in the vicinity thereof.

8. Additional exhibits submitted by the petitioner:

Zoning Map of Current Zoning and Proposed Zoning

9. Petitioners' Signature:

Name: Zack Davis

Address: 120 N. Main St. Morton, IL 61550

Phone No.: 309-266-5361

Email Address: zdavis@morton-il.gov

Signature: *Zack Davis*

Name: _____

Address: _____

Phone No.: _____

Email Address: _____

Signature: _____

Name: _____

Address: _____

Phone No.: _____

Email Address: _____

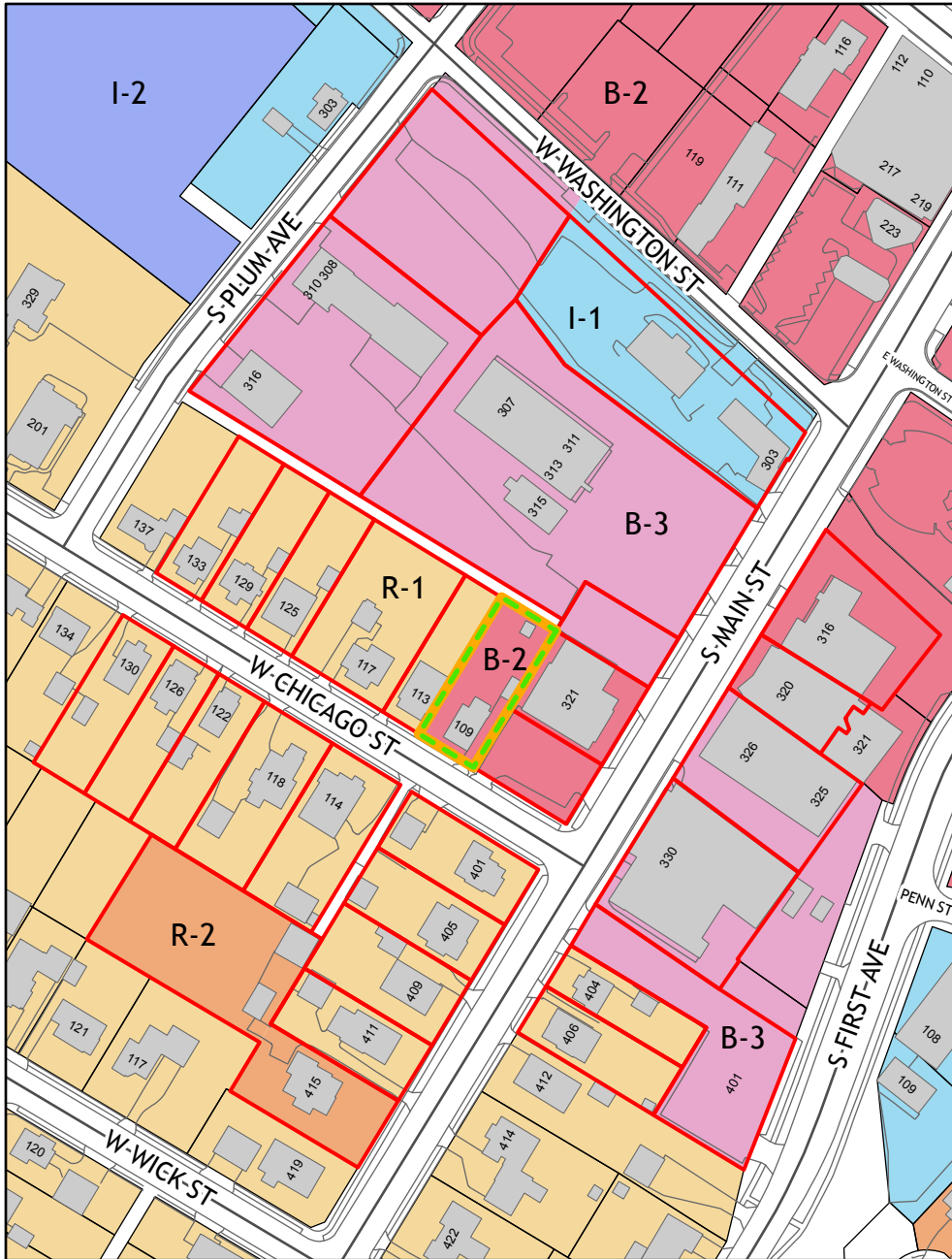
Signature: _____

24-02 ZA – 109 W. Chicago St.-- PIN: 06-06-20-219-016

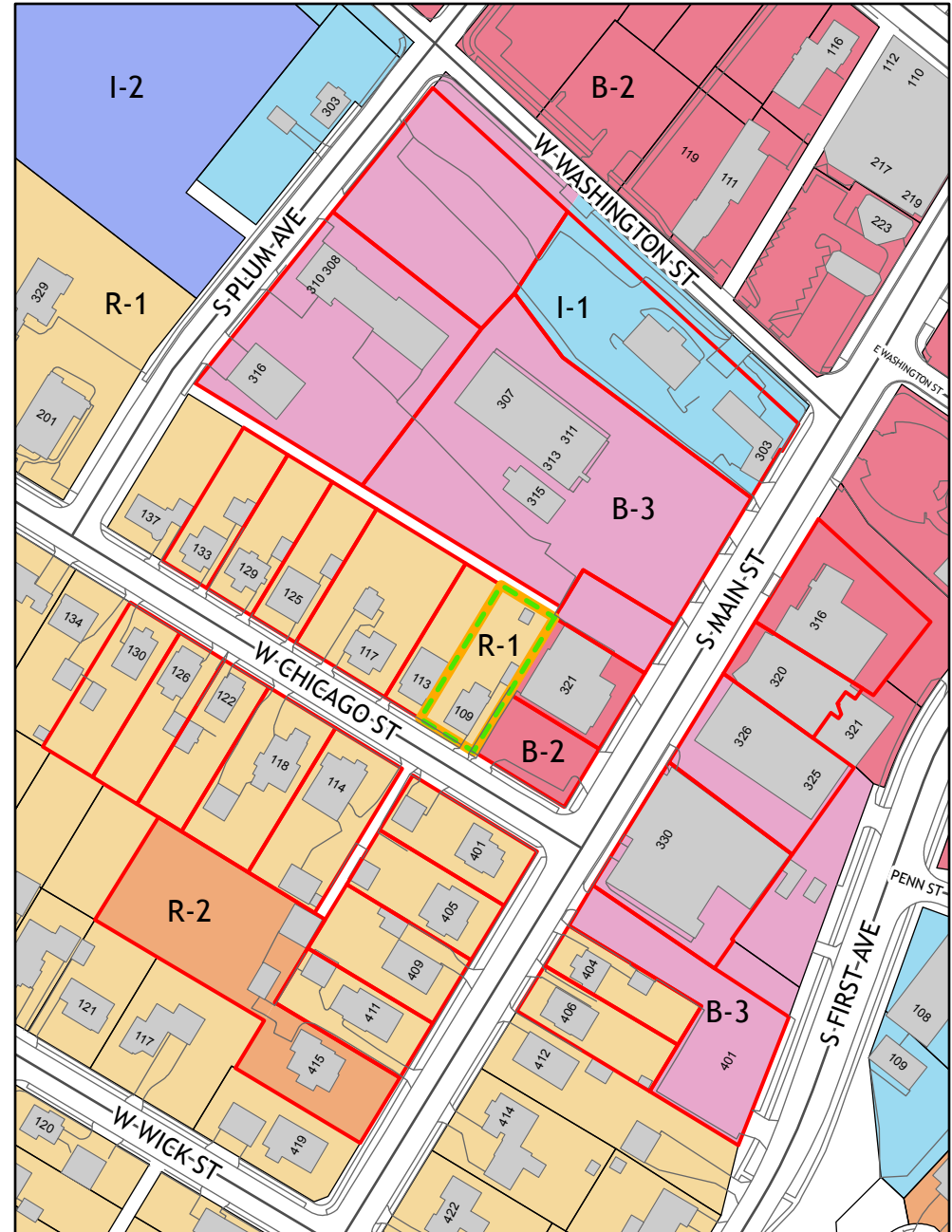
Statement:

The Village of Morton, with the support of the current property owner, requests to amend the zoning classification of 109 W. Chicago St. from B-2 to R-1. The majority of the surrounding properties are zoned R-1. This property is currently for sale by owner as a residential home. This rezoning will not negatively impact any of the surrounding properties.

Current Zoning

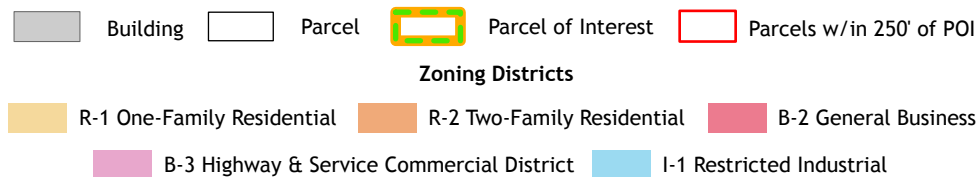


Proposed Zoning



Proposed Zoning Change

109 W Chicago St
06-06-20-219-016
Morton, Illinois



PETITION FOR ZONING AMENDMENT / SPECIAL USE PERMIT

Petition Number: 24-03 ZA

Date: 6/3/2024

1. Legal Description: SEC 19 T25N R3W E 1/2 OF (EXC TRACTS) SE 1/4 46.25 AC

Street Address: Getz Ave

2. Area of subject property: _____ sq. ft. or 46.2500 Ac.

3. Present land use: Split between Commercial & Industrial -- B-3 & I-2 - Primarily Agricultural

Proposed land use or special use: Change the entire parcel to B-3

Requested zoning change: from B-3/I-2 District to B-3 District

4. Surrounding zoning districts:

North I-2 East B-3/I-1 South I-2 West I-2

5. Subject property is owned by:

Name: GETZ ESTATE

Address: 29400 WARRICK RD MACKINAW, IL, 61755

(If subject property is owned by a trustee, a written statement must be furnished by the trustee, disclosing the names of all beneficial owners. A change in any of the beneficial owners during the amendment/special use process must be disclosed immediately.)

6. A list of names and addresses of all property owners in the petition area (within 250 feet of the area affected by this petition) will be provided by the Village of Morton and attached hereto.

7. A statement is attached hereto, indicating why, in our opinion, the amendment or special use requested is necessary for the preservation and enjoyment of substantial property rights, and why such amendment or special use will not be detrimental to the public welfare, nor the property of other persons located in the vicinity thereof.

8. Additional exhibits submitted by the petitioner:

Zoning Map of Current Zoning and Proposed Zoning

Statement

9. Petitioners' Signature:

Name: Zack Davis

Address: 120 N. Main St. Morton, IL 61550

Phone No.: 309-266-5361

Email Address: zdavis@morton-il.gov

Signature: *Zack Davis*

Name: _____

Address: _____

Phone No.: _____

Email Address: _____

Signature: _____

Name: _____

Address: _____

Phone No.: _____

Email Address: _____

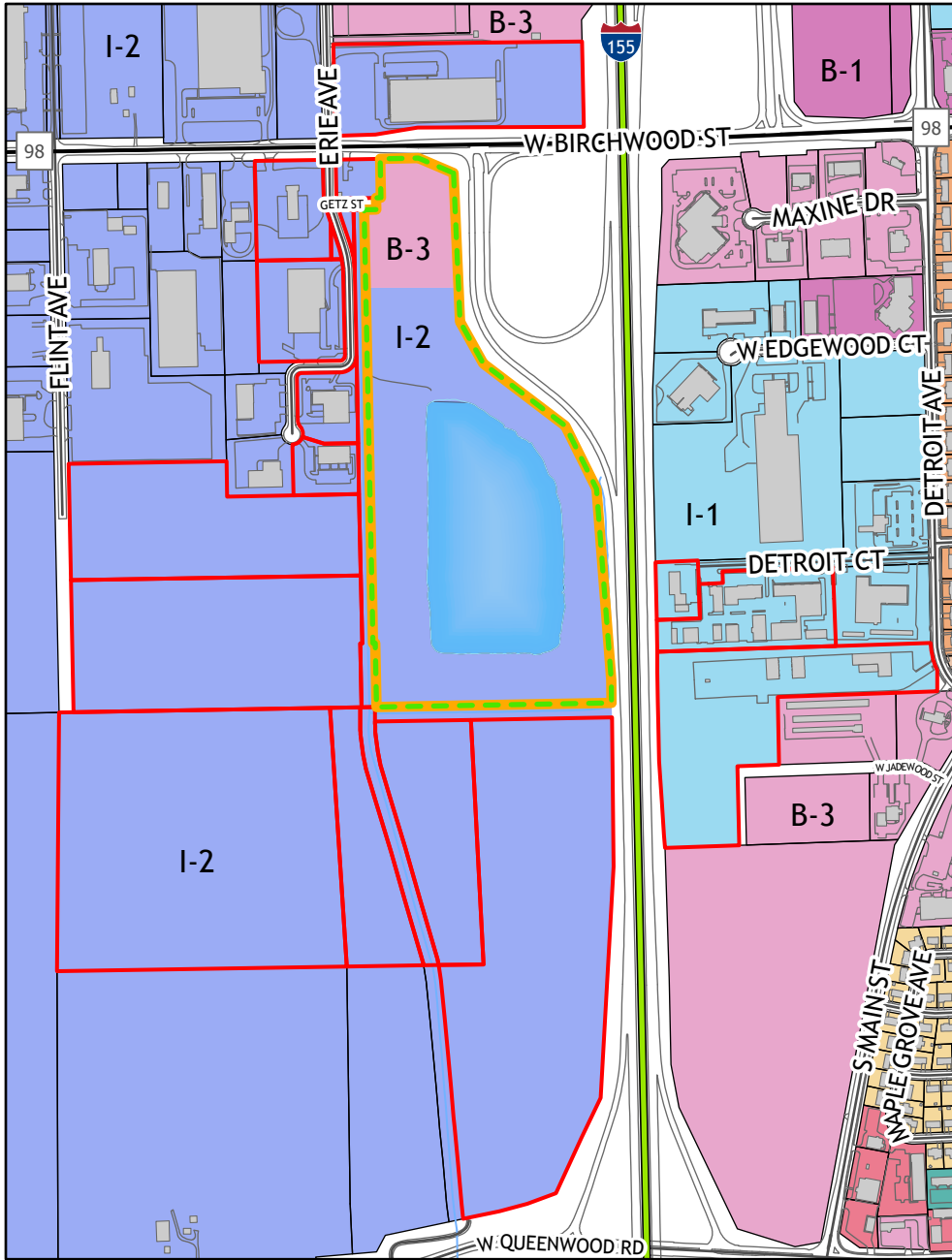
Signature: _____

24-03 ZA – Village of Morton – Getz Ave & W. Birchwood St. – PIN 06-06-19-400-019

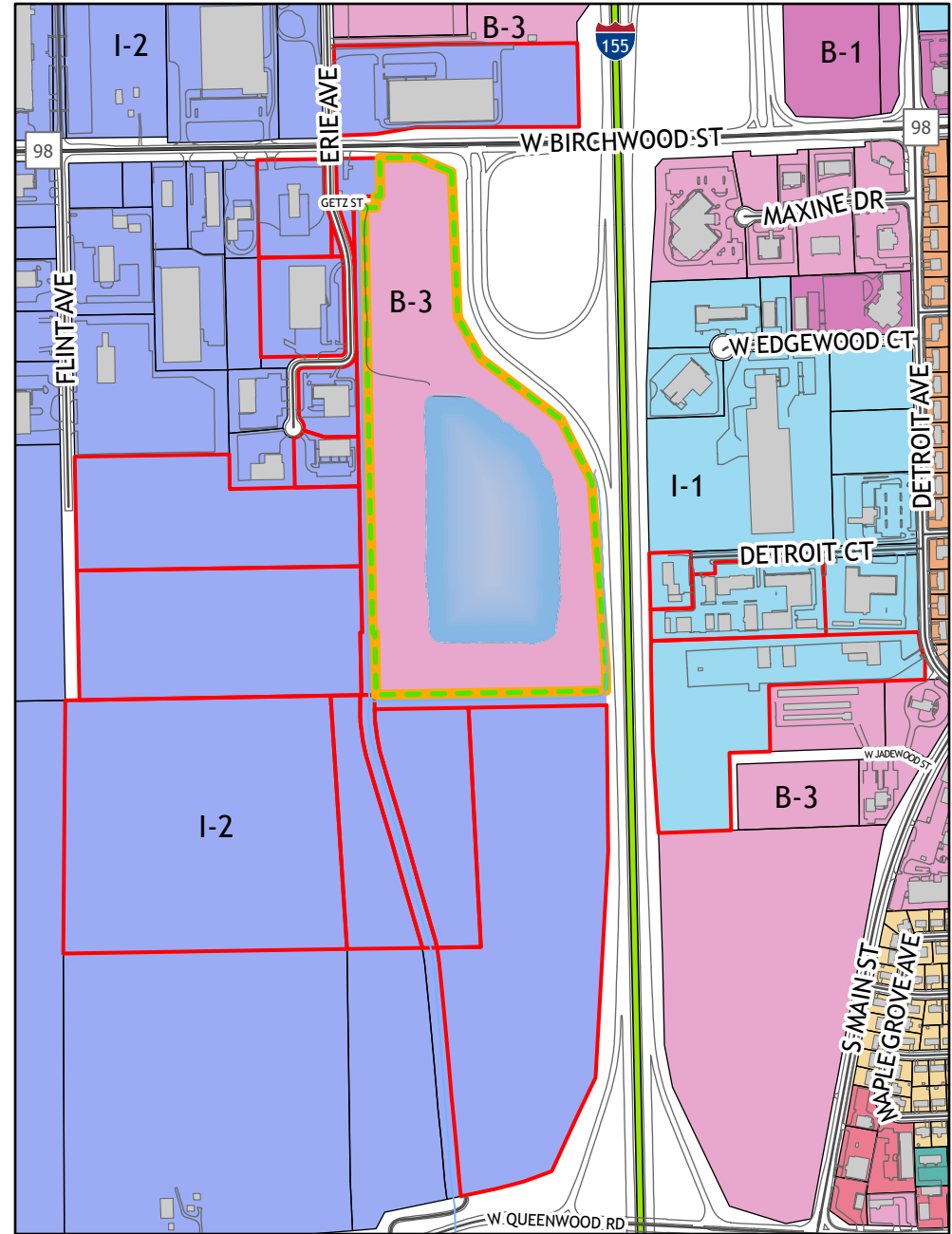
Statement:

The Village of Morton requests to amend the zoning classification of Getz Ave (PIN 06-06-19-400-019) from partial B-3 & I-2 to all B-3. This will be beneficial to allow for future development on the entire parcel. The parcel is currently a tillable farm with a +/- 15 acre lake. Establishing this parcel as one zoning classification will allow the lake to be utilized for storm water retention for any future development.

Current Zoning



Proposed Zoning



Proposed Zoning Change

W Birchwood St
06-06-19-400-019
Morton, Illinois

Building Parcel

Parcel of Interest

Parcels w/in 250' of POI

Zoning Districts

- | | |
|---|----------------------------|
| I-1 Restricted Industrial | I-2 General Industrial |
| B-1 Professional Office District | B-2 General Business |
| B-3 Highway & Service Commercial District | |
| R-1 One-Family Residential | R-2 Two-Family Residential |
| | R-3 Multi-Family |



morton
ILLINOIS

May 22nd, 2024

PETITION FOR ZONING AMENDMENT / SPECIAL USE PERMIT

Petition Number: 24-04

Date: 06-03-2024

1. Legal Description: Refer to attached Preliminary ALTA

Street Address: southeast corner of the intersection of W Birchwood St and Erie Ave and bordered by I-155 to the east

2. Area of subject property: 2,015,182 sq. ft. or 46.262 Ac.

3. Present land use: Farm field

Proposed land use or special use: Proposed Use: Truck Stop and Fast-food Restaurant

Special Use: Outdoor storage/outdoor sales, fuel sales, drive-through restaurant, RV parking

Requested zoning change: from N/A District to N/A District

4. Surrounding zoning districts:

North I-2 East I-155 South I-2 West I-2

5. Subject property is owned by:

Name: Gregory D. Getz, Sarah Jean Getz, Elsie Eigsti, Terri S. Carr, Curtis P. Hodel, James M. Hodel,

Address: Gary L. Hodel, Linda R. Hodel

Address varies

(If subject property is owned by a trustee, a written statement must be furnished by the trustee, disclosing the names of all beneficial owners. A change in any of the beneficial owners during the amendment/special use process must be disclosed immediately.)

6. A list of names and addresses of all property owners in the petition area (within 250 feet of the area affected by this petition) will be provided by the Village of Morton and attached hereto.

7. A statement is attached hereto, indicating why, in our opinion, the amendment or special use requested is necessary for the preservation and enjoyment of substantial property rights, and why such amendment or special use will not be detrimental to the public welfare, nor the property of other persons located in the vicinity thereof.

8. Additional exhibits submitted by the petitioner:

Preliminary ALTA/NSPS Land Title Survey by WT Group dated April 3, 2024

Site Plan and Landscaping plan prepared by CESO, Inc.

9. Petitioners' Signature:

Name (printed)

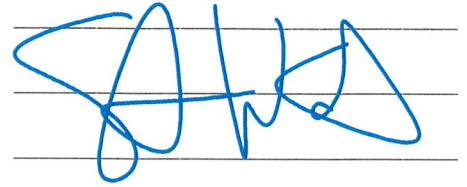
Steve Walters (Love's)

Address (printed)

10601 N. Pennsylvania Ave

Oklahoma City, OK 73120

Signature

A handwritten signature in blue ink is written on three horizontal lines. The signature is stylized, starting with a large loop on the left, followed by a vertical stroke, and ending with a large loop on the right.

May 30, 2024

Love's Travel Stop Special Use Statement

Love's Travel Stops & Country Stores, Inc. is planning to construct a new travel center at the southeast corner of the intersection of W Birchwood St and Erie Ave and bordered by I-155 to the east in the Village of Morton, IL. The development will consist of a 11,850 ± square foot convenience store/fast-food restaurant with a drive-thru, five car fueling islands, five diesel fueling bays, a truck scale, a dog park, 4 RV parking spaces, 59 car parking spaces and 77 truck parking spaces. The site will be accessed via two driveways, one for cars and one for trucks, located off of Erie Ave.

The proposed Love's property is 46.262 acres in size and is currently owned by Getz Estate. The property is split-zoned I-2 and B-3. It is Love's understanding that the total parcel will be zoned B-3 by the Village in advance of Special Use approval. "Drive-in or drive-through restaurants where food is provided to customers in cars" is considered a special use in zoning district B-2, General Business District, and therefore, is also a special use in zoning district B-3, Highway and Service Commercial District. "Storage or parking of occupied mobile homes or recreational vehicles" is not included as a special use under the B-3 Highway and Service Commercial district; however, this use should be included as part of the Special Use Permit for the Love's Travel Stop because it is essential to the Love's operations. "Uses where outdoor storage of products or goods used or sold on the premises is a necessary part of the operation" are considered a special use in zoning district B-3, Highway and Service Commercial District.

Love's Travel Stops seeks to service the traveling public, both passenger vehicles and commercial trucks, as fully as possible, providing a "one stop shop" for guests to use the restroom, refuel, purchase food and drinks and more. The Love's building, which includes a convenience-type store and fast-food restaurant, is essential in order to fully service their customers. Without the retail store, guests would be unable to purchase essential travel items or use the restroom and truckers would be unable to shower or do laundry. For truckers, this building is especially important because it allows them to maintain their personal hygiene on the go. Furthermore, without the restaurant both travelers and residents would be without an option for a meal. The restaurant drive-thru is just one other way that Love's is able to quickly and efficiently meet their customer's needs. The drive-thru allows customers to order food quickly without ever leaving their cars. Furthermore, the use of the drive-thru frees up parking for those customers that prefer to or must enter the Love's building.

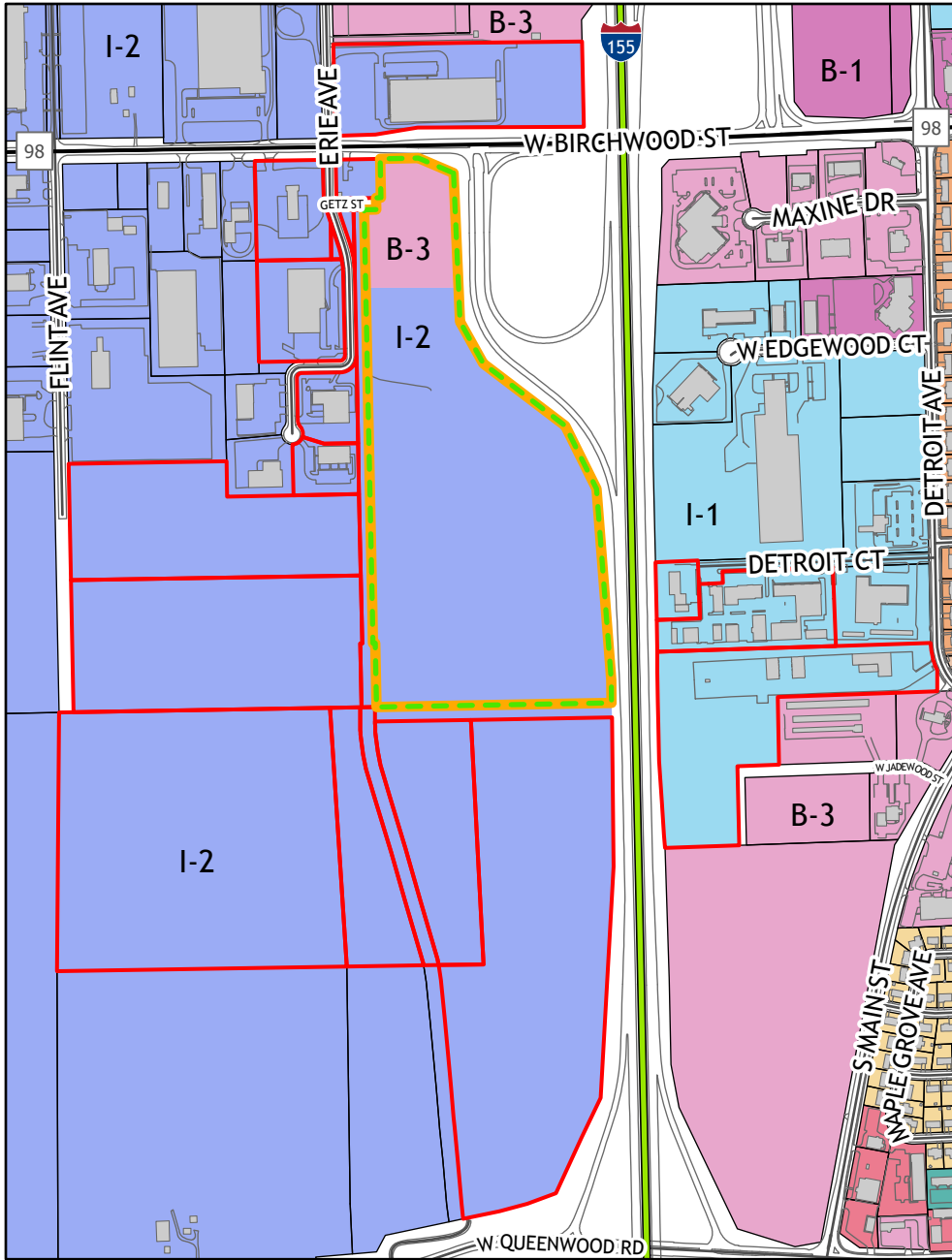
Love's Travel Stops seeks to service the traveling public and community by providing convenient items for purchase located outside of their main Love's building. These items make it convenient for the community and traveling public to obtain necessary items for every-day use and to make pass-by stops as convenient as possible. Typical items Love's may provide outdoor storage/sales for would include propane, ice, water, DEF and other fluids needed by the drivers. Bulk propane is also sold at a designated propane tank island on site. This tank is protected by bollards and is required to be located with 50' from the tank to major structures (building, fueling canopy, dispensers, etc.) and 25' from the propane tank to minor structures (above ground utilities, light poles, air/water/RV dump island, etc.). When necessary, an explosion proof fixture may be provided near the propane tank as an exempt lighting fixture. 38' clearance is also required between the point of transfer and any underground storage tanks. Outdoor storage and sales of these items provides easy access to the traveling public and eases the flow of the public through the Love's site and back on the road to their destination.

Since 2022, Love's has begun a new initiative to include recreational vehicle parking at their Travel Stops as warranted by the traveling public as a safe location to rest for a night. While some Love's Travel Stops are now

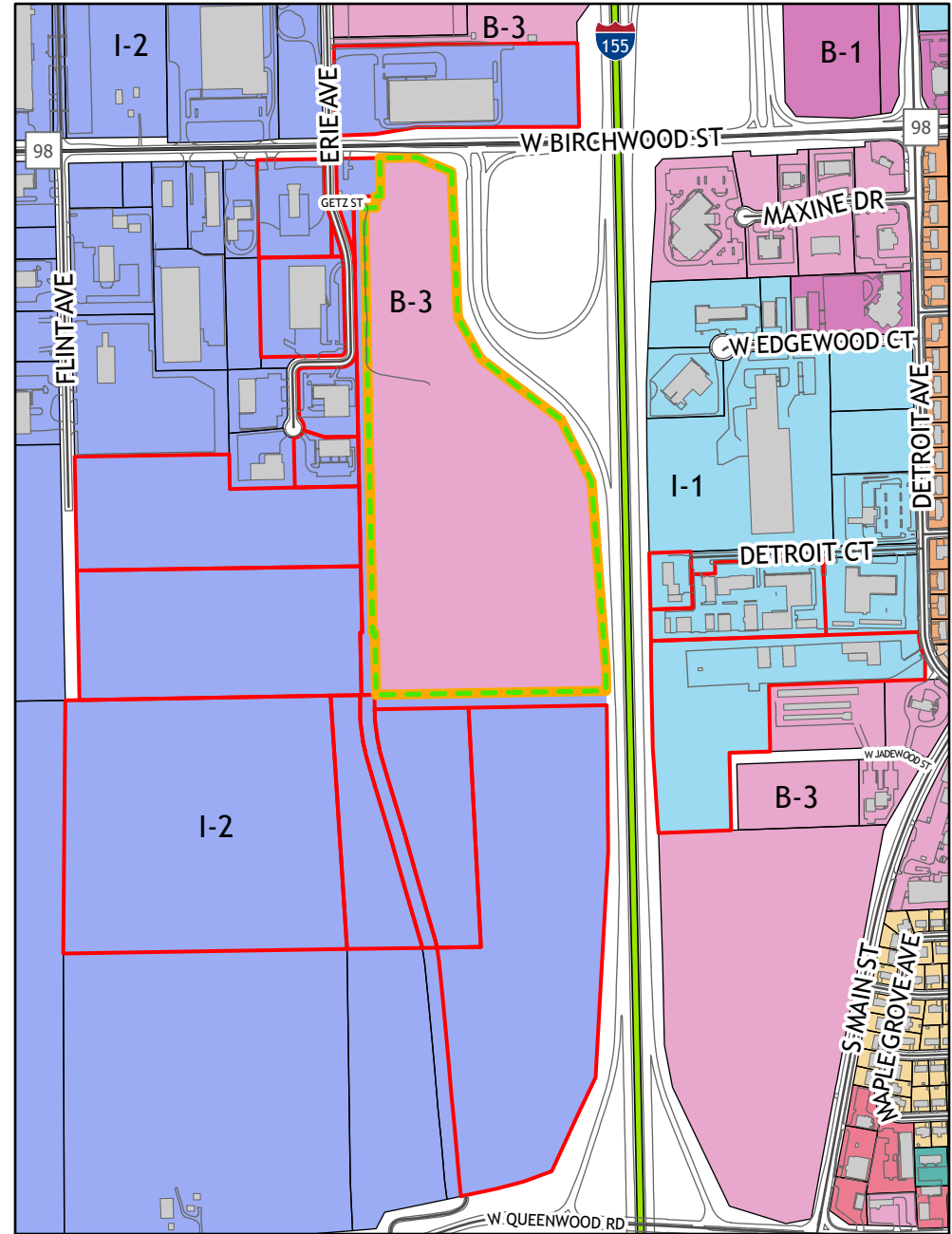
designated recreational vehicle parks, this location is intended to have four (4) RV parking stalls to accommodate the traveling public to rest along their main path of travel. The proposed Love's RV parking stalls at this location would provide sanitary, electric, and water hookups for the renter to hook-up to overnight. These RV-parking stops are intended to be a temporary stop along the public's travel to their final destination. The RV parking proposed for the Morton, IL site is parking provided adjacent to the standard auto customer parking and is not a separate RV park. Love's does not anticipate any stays in this location for more than a few nights and typically does not see stays longer than one night. All guests of the RV parking spaces must agree to Love's standard Terms and Conditions with provided "check-in" and "check-out" times, quiet hours from 10 p.m. to 8 a.m., and various other conditions.

The Love's Travel Stop will fit in well with the existing community at the I-155 and W Birchwood Street interchange because it is a business that services the traveling public on either of these roads. The proposed location will also be amongst industrial businesses and other highway commercial businesses that are currently being serviced by trucks. The Love's Travel Stop will provide critical fuel and amenities for these trucks that service the neighboring businesses. Noise, glare or odors that may be generated by the Love's will be no greater than those created by the adjacent businesses. Furthermore, no residential properties are located within the immediate area, so the 24/7 operation of the Love's will not disturb anyone.

Current Zoning



Proposed Zoning



Special Use Request

W Birchwood St
06-06-19-400-019
Morton, Illinois

Building Parcel

Parcel of Interest

Parcels w/in 250' of POI

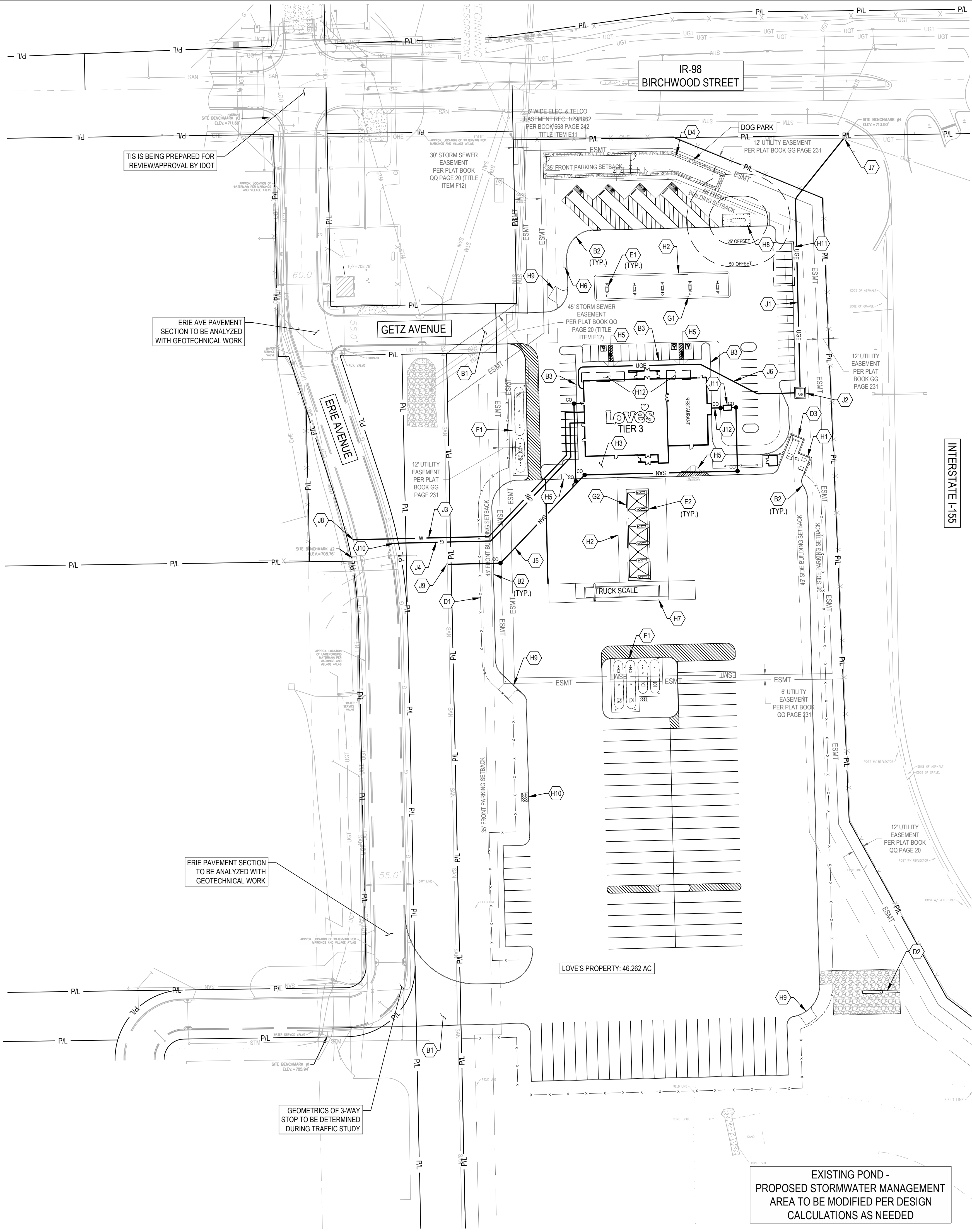
Zoning Districts

I-1 Restricted Industrial	I-2 General Industrial
B-1 Professional Office District	B-2 General Business
B-3 Highway & Service Commercial District	
R-1 One-Family Residential	R-2 Two-Family Residential
	R-3 Multi-Family



morton
ILLINOIS

May 22nd, 2024



VICINITY MAP
NOT TO SCALE

LAT = N 40.603275°
LONG = W -89.482036°

- LEGEND**
- EXISTING**
- REFER TO ALTANSPTS FOR EXISTING FEATURES LEGEND
- PROPOSED**
- CONCRETE CURB AND GUTTER
 - PAVEMENT
 - 6' TREX FENCE (REF. ARCH. PLANS)
 - 5' BLACK VINYL COATED CHAIN-LINK FENCE (REF. ARCH. PLANS)
 - 4' BLACK VINYL COATED CHAIN-LINK FENCE (REF. ARCH. PLANS)
 - UTILITY EASEMENT
 - LIGHT POLE SHOWN FOR REFERENCE ONLY. REFER TO ARCH. PLANS FOR ADDITIONAL INFORMATION AND EXACT LOCATION

A. GENERAL NOTES

1. GENERAL SCOPE OF WORK INCLUDES:
- BUILDINGS
 - CANOPIES
 - FUEL TANKS
 - PIPING AND DISPENSERS
 - UNDERGROUND DETENTION SYSTEM
 - PARKING
2. ALL RADII TO BE 5'-0" UNLESS OTHERWISE NOTED

B. SITE WORK

1. PROPOSED DRIVE CONCRETE APPROACH
2. PROPOSED CURB OR CURB AND GUTTER
3. COLORED CONCRETE CURB

C. BUILDING

1. LOVE'S COUNTRY STORE AND BOJANGLES (15,399 S.F. ±)

D. EXTERIOR APPEARANCE

1. 5' HIGH CHAIN - LINK FENCE
2. LOVE'S HIGH RISE SIGN
3. 6' HIGH TREX SCREENING FENCE
4. 4' HIGH CHAIN - LINK FENCE

E. DISPENSERS

1. (5) DISPENSERS, SUMPS, AND ISLAND (CAR)
2. (6) DISPENSERS, SUMPS, AND ISLANDS (TRUCK)

F. UNDERGROUND STORAGE TANKS

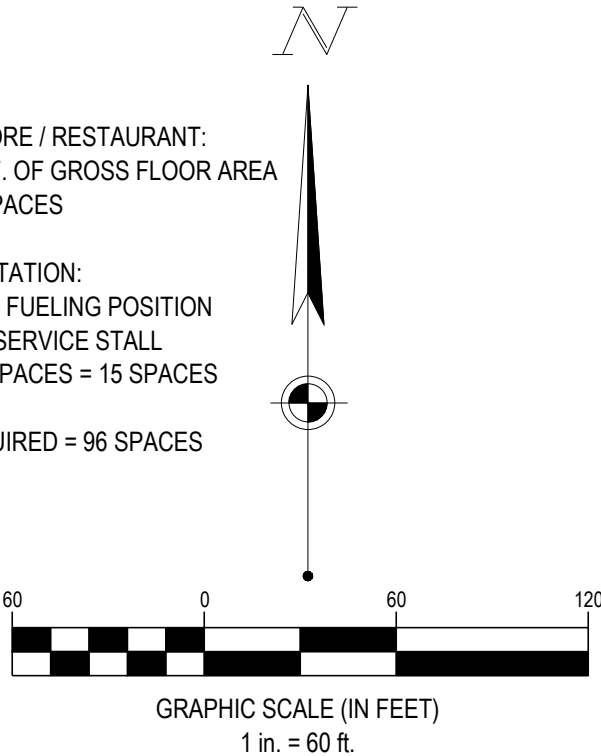
1. CONCRETE SLAB AND PROPOSED UNDERGROUND FUEL STORAGE TANKS FOR GASOLINE/DIESEL/DEF.
2. 25' x 103' CANOPY PER CURRENT STANDARDS (TRUCK).

G. CANOPY

1. 25' x 149' CANOPY PER CURRENT STANDARDS (CAR).
2. 25' x 103' CANOPY PER CURRENT STANDARDS (TRUCK).

SITE REQUIREMENTS:

- BUILDING SETBACKS:**
- FRONT YARD - 45', REAR YARD - 20'
RIGHT YARD - 45', LEFT YARD - 15'
- PARKING SETBACKS:**
- FRONT YARD - 35', REAR YARD - 10'
RIGHT YARD - 25', LEFT YARD - 35'
- SIGN SETBACKS:**
- 17.5' FROM ALL PROPERTY LINES
- STANDARD PARKING DIMENSIONS:**
- 9'Wx20'L
- MINIMUM DRIVE AISLE:**
- 20'
- PARKING REQUIRED:**
- LOVE'S COUNTRY STORE / RESTAURANT:
(1) SPACE PER 150 S.F. OF GROSS FLOOR AREA
12,049 x (1/150) = 81 SPACES
- GASOLINE SERVICE STATION:
(1) SPACE FOR EVERY FUELING POSITION
(1) SPACE FOR EACH SERVICE STALL
15 x 1 + 0 x 1 = 15 + 0 SPACES = 15 SPACES
- TOTAL PARKING REQUIRED = 96 SPACES



OWNER/DEVELOPER

LOVE'S TRAVEL STOPS & COUNTRY STORES, INC.
10801 N. PENNSYLVANIA AVE.
OKLAHOMA CITY, OK 73120

CONTACT: STEVE WALTERS
PH: (405) 761-4400
EMAIL: STEVE.WALTERS@LOVES.COM

ZONING

VILLAGE OF MORTON
PLANNING & COMMUNITY DEVELOPMENT
120 N. MAIN ST.
MORTON, IL 61550
PH: (309) 266-5361 x2252
CONTACT: BRAD MARKS

STORM SEWER

VILLAGE OF MORTON
120 NORTH MAIN STREET
MORTON, IL 61550
PH: (309) 266-5361 x 2271
CONTACT: JAMEY BULLARD

SANITARY SEWER

VILLAGE OF MORTON
120 NORTH MAIN STREET
MORTON, IL 61550
PH: (309) 266-5361 x 2223
CONTACT: CRAIG M. LOUDERMILK, P.E.

WATER

VILLAGE OF MORTON
120 NORTH MAIN STREET
MORTON, IL 61550
PH: (309) 266-5361 x 2223
CONTACT: CRAIG M. LOUDERMILK, P.E.

FIRE

MORTON FIRE DEPT.
300 W COURTLAND ST
MORTON, IL 61550
PH: (309) 266-9001
CONTACT: JUSTIN HALE

ENGINEER

CESO, INC.
3601 RIGBY ROAD, SUITE 300
DAYTON, OH 45342
CONTACT: ERIC BOYD, P.E.
PH: (937) 401-3751
EMAIL: BOYD@CESOINC.COM

ROADWAY (STATE)

IDOT - REGION 3
401 MAIN ST
PEORIA, IL 61602-1111
PH: (309) 671-3333
CONTACT: KENSIL GARNETT

ROADWAY (LOCAL)

VILLAGE OF MORTON
21308 IL ROUTE 9
TREMONT, IL 61568
PH: (309) 925-5532
CONTACT: CRAIG M. LOUDERMILK, P.E.

EROSION CONTROL

VILLAGE OF MORTON
120 NORTH MAIN STREET
MORTON, IL 61550
PH: (309) 206-5361
CONTACT: JAMEY BULLARD

GAS

VILLAGE OF MORTON
120 NORTH MAIN STREET
MORTON, IL 61550
PH: (309) 266-5361 x 2223
CONTACT: CRAIG M. LOUDERMILK, P.E.

ELECTRIC

AMEREN ILLINOIS
8420 NORTH UNIVERSITY STREET
PEORIA, IL 61615
PH: 309-693-4707
CONTACT: PATRICK RIDGLEY

COMMUNICATIONS

COMCAST / FRONTIER
CONTACT: KEITH KOSHINSKI / ADAM GANGLOFF
KEITH_KOSHINSKI@COMCAST.COM /
ADAM.R.GANGLOFF@FTR.COM

SITE ANALYSIS:

PROPOSED BUILDING AREA

TOTAL:

PARKING PROVIDED:

LOT COVERAGE:

LOVE'S COUNTRY STORE: 8,500 ± S.F.
ATTACHED RESTAURANT: 3,549 ± S.F.
12,049 ± S.F.

PARKING DIMENSIONS: VARIES
(3) ADA PARKING SPACES
(49) STANDARD CAR PARKING SPACES
(4) MODEL 3 RV PARKING SPACES
(9) BOBTAIL PARKING SPACES
(68) TRUCK PARKING SPACES
133 TOTAL PARKING SPACES

MAXIMUM ALLOWED: N/A
PROPOSED: ±0.6% (12,049 S.F. / 2,015,182 S.F.)

EXISTING POND -
PROPOSED STORMWATER MANAGEMENT
AREA TO BE MODIFIED PER DESIGN
CALCULATIONS AS NEEDED



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Alton, OH 44321
Phone: 330.665.0660 Fax: 888.208.4826



LOVE'S TRAVEL STOPS

MORTON, IL

ERIE AVE & BIRCHWOOD ST.
MORTON, IL 61550

Revisions / Submissions

ID Description Date

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Project Number: 763349

Scale: 1" = 60'

Drawn By: KAN

Checked By: EWB

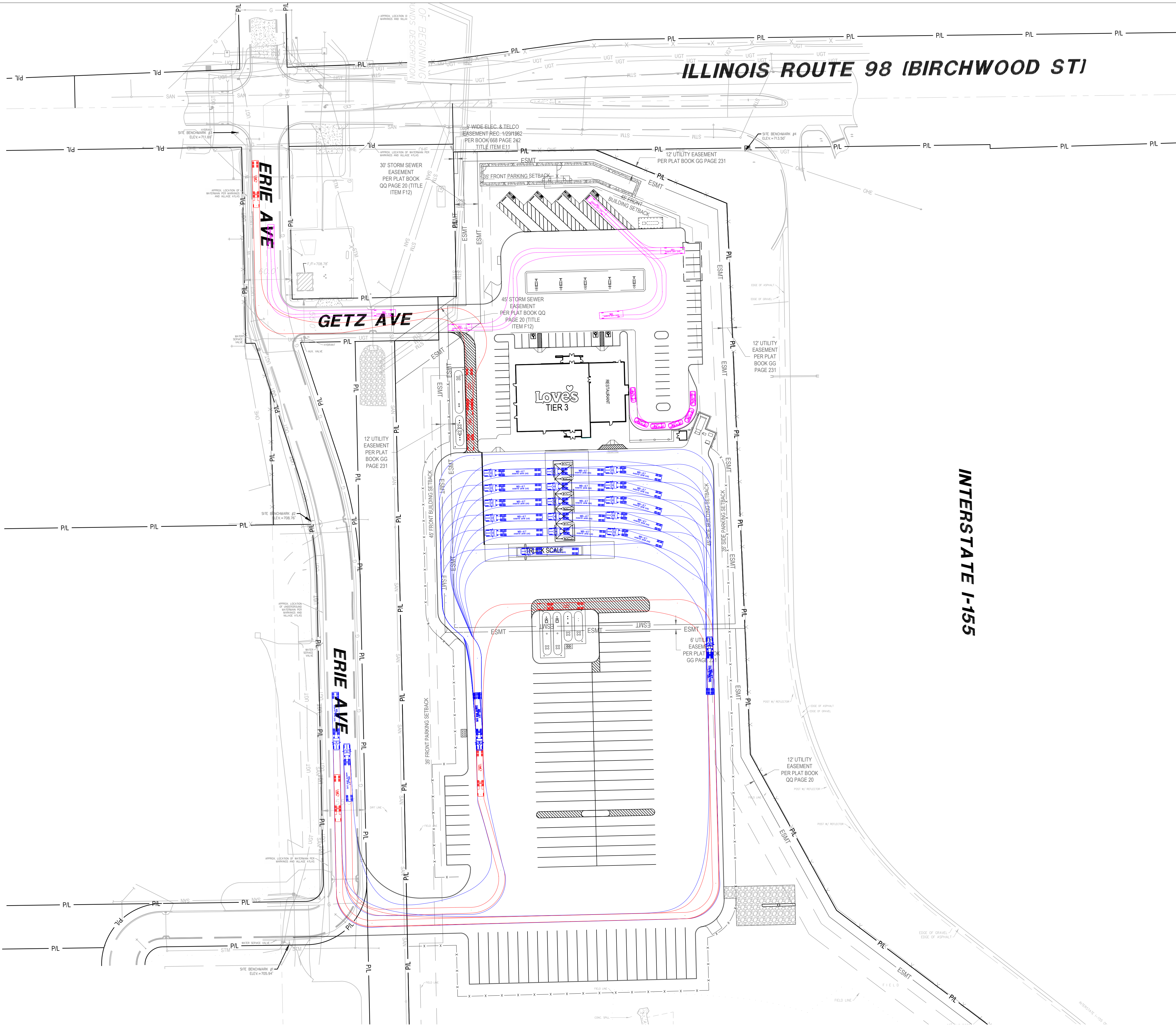
Date: 05/26/2024

Issue: PRELIMINARY

Drawing Title:

OVERALL SITE PLAN

C1.0



LEGEND

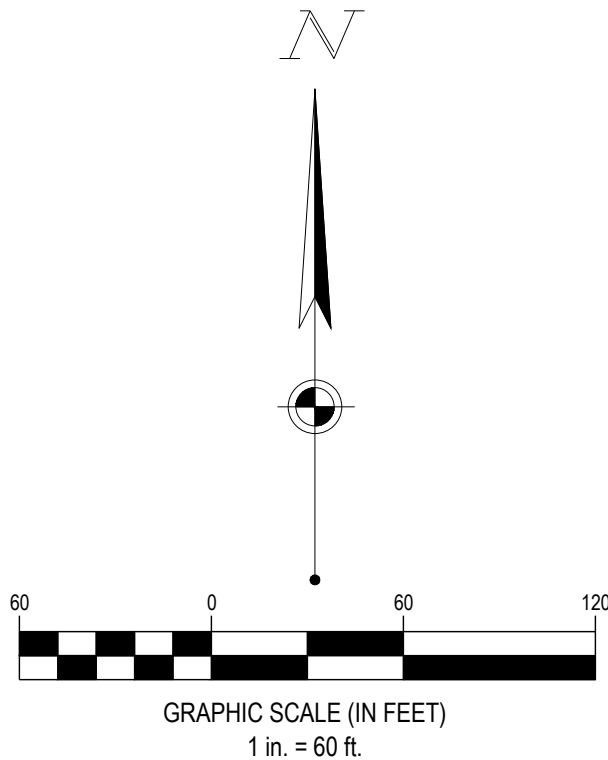
EXISTING

REFER TO ALTANSPS FOR EXISTING FEATURES LEGEND

PROPOSED

- CONCRETE CURB AND GUTTER
- PAVEMENT
- 6' TREX FENCE (REF. ARCH. PLANS)
- 5' BLACK VINYL COATED CHAIN-LINK FENCE (REF. ARCH. PLANS)
- 4' BLACK VINYL COATED CHAIN-LINK FENCE (REF. ARCH. PLANS)
- STM STORM SEWER
- SAN SANITARY SEWER
- W DOMESTIC WATER SERVICE
- UGE UNDERGROUND ELECTRIC SERVICE
- G GAS SERVICE
- UGT TELEPHONE SERVICE
- UTILITY EASEMENT

LIGHT POLE SHOWN FOR REFERENCE ONLY. REFER TO ARCH. PLANS FOR ADDITIONAL INFORMATION AND EXACT LOCATION




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Loves

LOVES TRAVEL STOPS

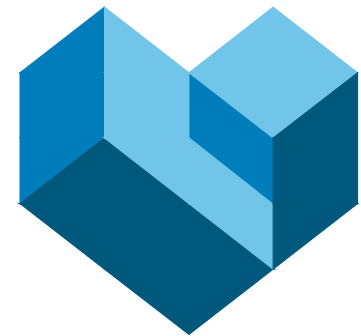
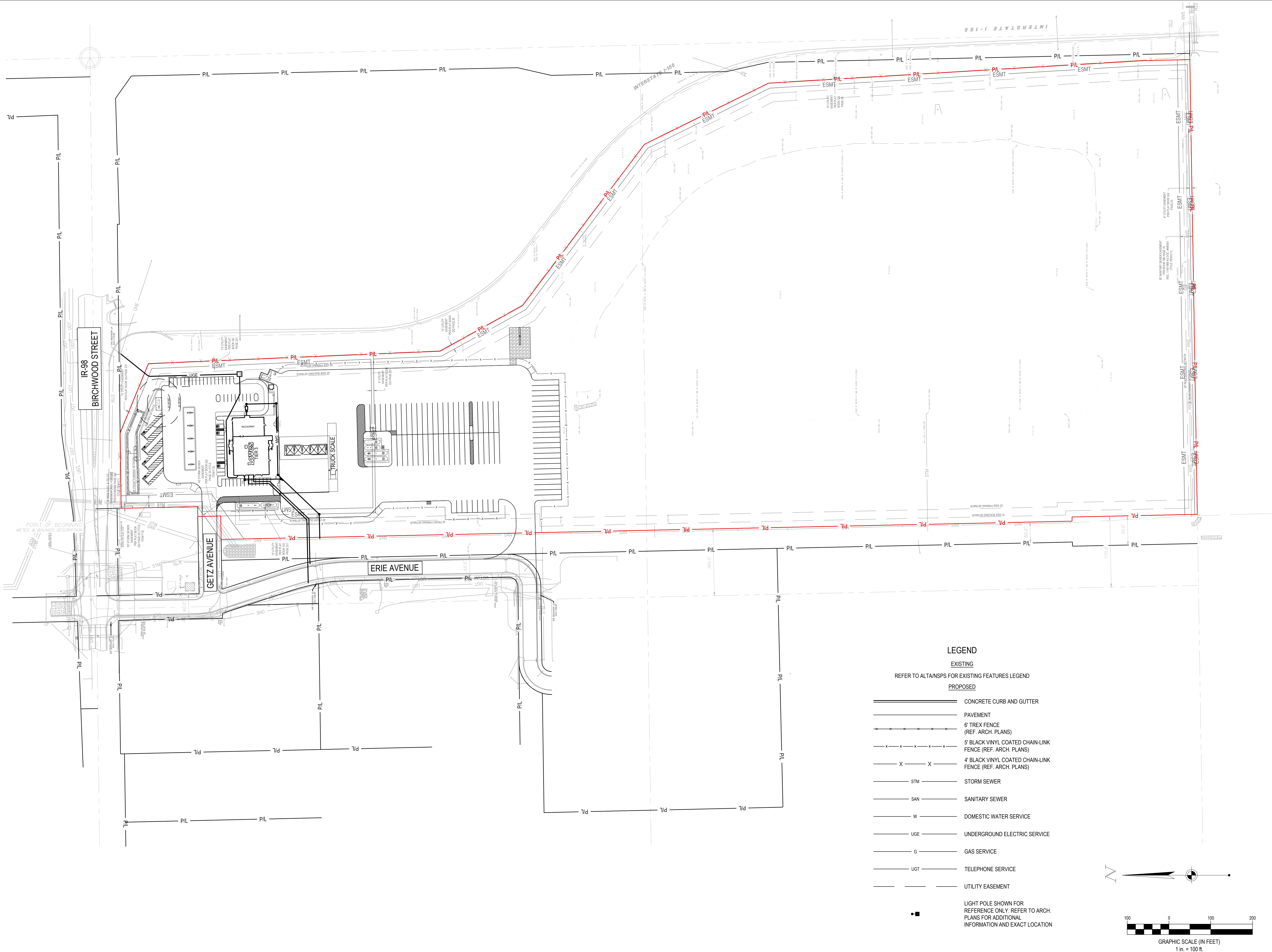
MORTON, IL
ERIE AVE & BIRCHWOOD ST.
MORTON, IL 61550

Revisions / Submissions		
ID	Description	Date

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Project Number:	763349
Scale:	1" = 60'
Drawn By:	KAN
Checked By:	EWB
Date:	05/03/2024
Issue:	PRELIMINARY

Drawing Title:
CIRCULATION PLAN

C1.2



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LOVE'S TRAVEL STOPS

MORTON, IL

ERIE AVE & BIRCHWOOD ST.

MORTON, IL 61550

Revisions / Submissions

ID	Description	Date
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Project Number: 763349

Scale: 1" = 150'

Drawn By: KAN

Checked By: EWB

Date: 05/26/2024

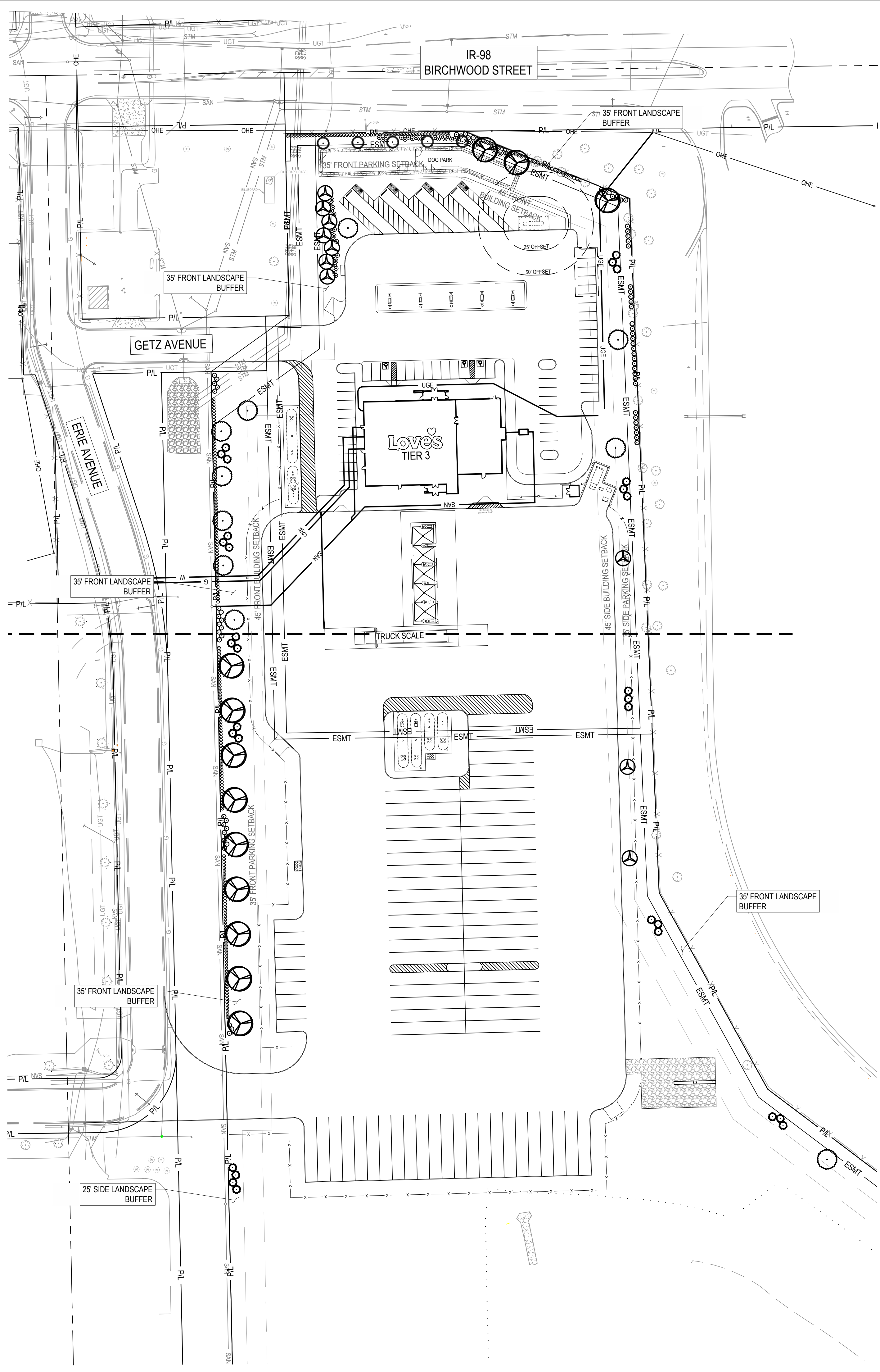
Issue: PRELIMINARY

Drawing Title:

OVERALL SITE PLAN

C1.1

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LEGEND

EXISTING

REFER TO ALTA/NSPS FOR EXISTING FEATURES LEGEND

PROPOSED

- CONCRETE CURB AND GUTTER
- PAVEMENT
- 6' TREX FENCE (REF. ARCH. PLANS)
- 5' BLACK VINYL COATED CHAIN-LINK FENCE (REF. ARCH. PLANS)
- 4' BLACK VINYL COATED CHAIN-LINK FENCE (REF. ARCH. PLANS)
- STORM SEWER
- SANITARY SEWER
- DOMESTIC WATER SERVICE
- UNDERGROUND ELECTRIC SERVICE
- GAS SERVICE
- TELEPHONE SERVICE
- UTILITY EASEMENT
- LIGHT POLE SHOWN FOR REFERENCE ONLY. REFER TO ARCH. PLANS FOR ADDITIONAL INFORMATION AND EXACT LOCATION

PLANT SCHEDULE FRONT YARD

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MIN HT / SPR	SPACING
TREES						
	12	CANOPY TREE A		2" CAL	8' HT	AS SHOWN
	7	CANOPY TREE B		2" CAL	8' HT	AS SHOWN
	12	EVERGREEN TREE A		---	5' HT	8' OC
	7	EVERGREEN TREE B		---	5' HT	AS SHOWN
	5	INTERMEDIATE TREE B		2" CAL	7' HT	AS SHOWN
SHRUBS						
	47	DECIDUOUS SHRUB B		---	18" HT	AS SHOWN
	38	EVERGREEN SHRUB A		---	24" HT	AS SHOWN
	272	EVERGREEN SHRUB B		---	24" HT	AS SHOWN

PLANT SCHEDULE SIDE YARD

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MIN HT / SPR	SPACING
TREES						
	3	CANOPY TREE B		2" CAL	8' HT	AS SHOWN
	19	EVERGREEN TREE A		---	5' HT	8' OC
	3	EVERGREEN TREE B		---	5' HT	AS SHOWN
SHRUBS						
	30	EVERGREEN SHRUB A		---	24" HT	AS SHOWN

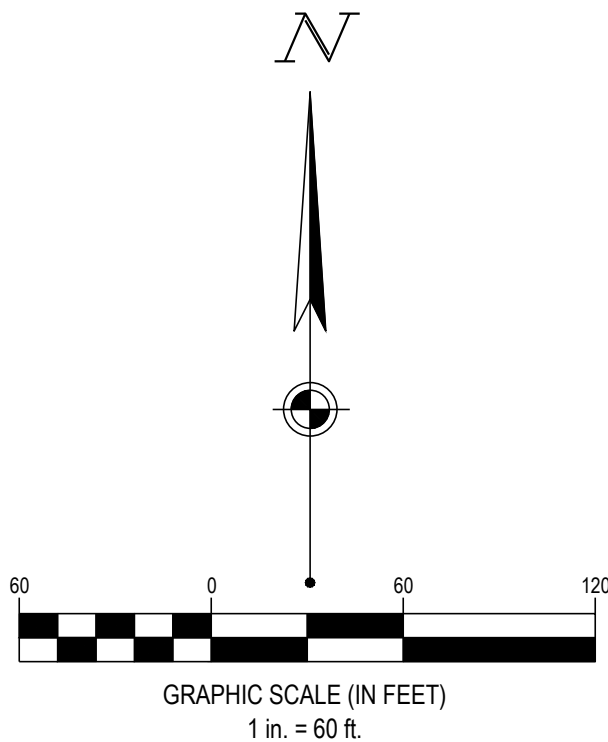
LANDSCAPE REQUIREMENTS

FRONT LANDSCAPE YARD (BIRCHWOOD ST, ERIE AVE: 1,347 LF): (1,347/2 = 674 POINTS)

REQUIRED WIDTH: 35'
PROPOSED WIDTH: 35'
EXISTING TREES (15 POINTS): 4 X 15 = 60 PTS
PROPOSED SHADE TREES (15 POINTS): 19 X 15 = 285 PTS
PROPOSED EVERGREEN TREES (15 POINTS): 19 X 15 = 285 PTS
PROPOSED INTERMEDIATE TREES (10 POINTS): 5 X 10 = 50 PTS
PROPOSED EVERGREEN SHRUBS (2 POINTS): 310 X 2 = 620 PTS
PROPOSED DECIDUOUS SHRUBS (1 POINT): 47 X 1 = 47 PTS

SIDE LANDSCAPE YARD (EAST, SOUTHWEST: 1,140 LF): (1,140/2 = 570 POINTS)

REQUIRED WIDTH: 25'
PROPOSED WIDTH: 25'
EXISTING TREES (15 POINTS): 9 X 15 = 135 PTS
PROPOSED SHADE TREES (15 POINTS): 3 X 15 = 45 PTS
PROPOSED EVERGREEN TREES (15 POINTS): 22 X 15 = 330 PTS
PROPOSED INTERMEDIATE TREES (10 POINTS): 30 X 2 = 60 PTS
PROPOSED EVERGREEN SHRUBS (2 POINTS): 30 X 2 = 60 PTS
PROPOSED DECIDUOUS SHRUBS (1 POINT): 47 X 1 = 47 PTS



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LOVE'S TRAVEL STOPS

MORTON, IL

ERIE AVE & BIRCHWOOD ST.
MORTON, IL 61550

Revisions / Submissions

ID	Description	Date
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Project Number: 763349

Scale: 1"=60'

Drawn By: PS

Checked By: EAB

Date: 05/24/2024

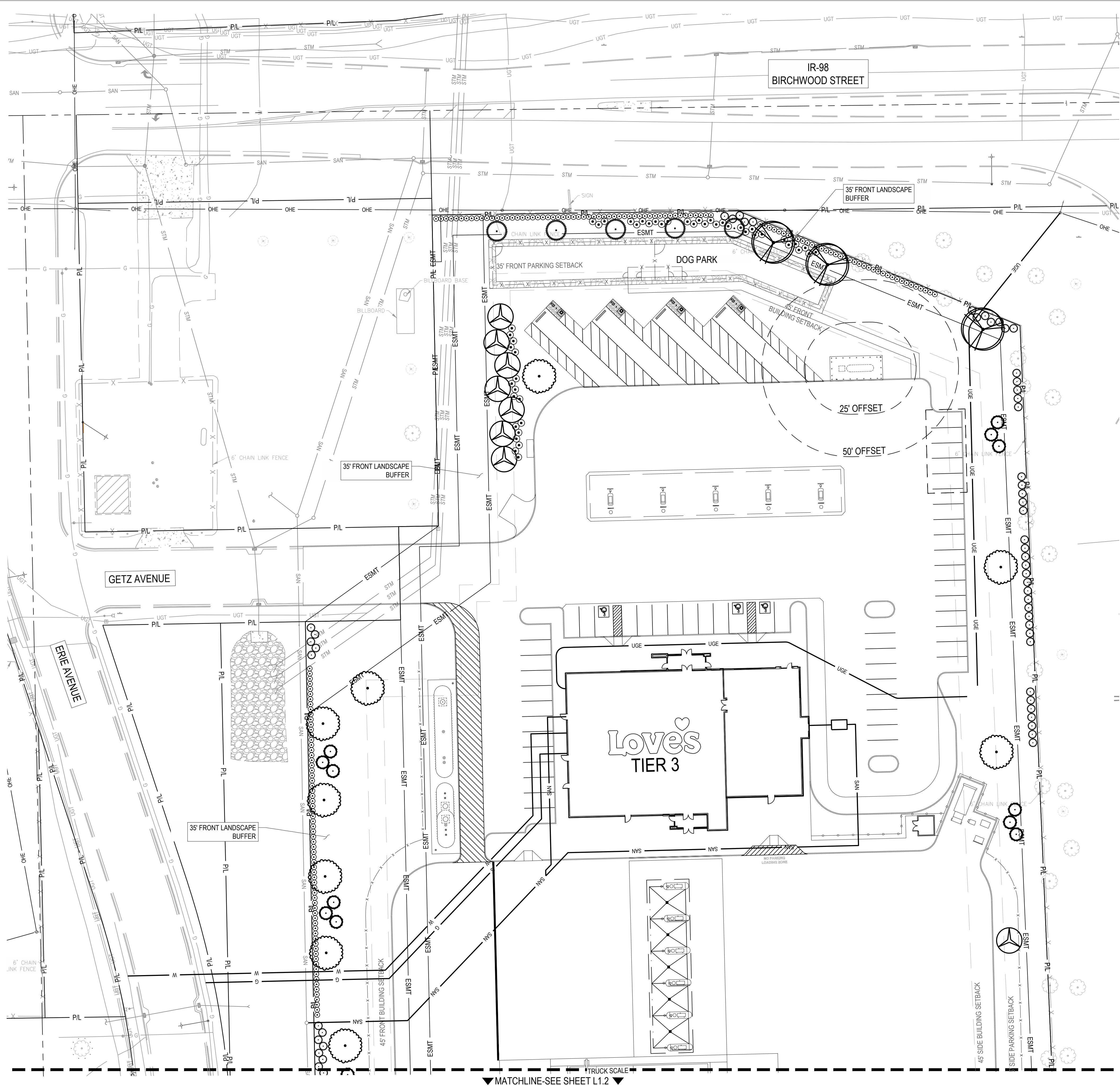
Issue: PRELIMINARY

Drawing Title:

OVERALL
PLANTING PLAN

L1.0

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PLANT SCHEDULE FRONT YARD

SYMBOL	QTY	BOTANICAL NAME
TREES		
	12	CANOPY TREE A
	7	CANOPY TREE B
	12	EVERGREEN TREE A
	7	EVERGREEN TREE B
	5	INTERMEDIATE TREE B
SHRUBS		
	47	DECIDIOUS SHRUB B
	38	EVERGREEN SHRUB A
	272	EVERGREEN SHRUB B

PLANT SCHEDULE SIDE YARD

SYMBOL	QTY	BOTANICAL NAME
TREES		
	3	CANOPY TREE B
	19	EVERGREEN TREE A
	3	EVERGREEN TREE B
SHRUBS		
	30	EVERGREEN SHRUB A

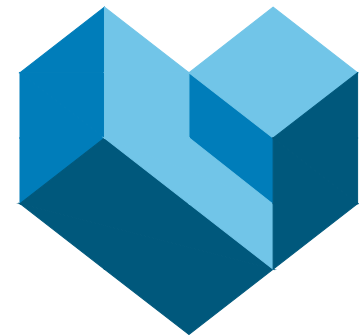
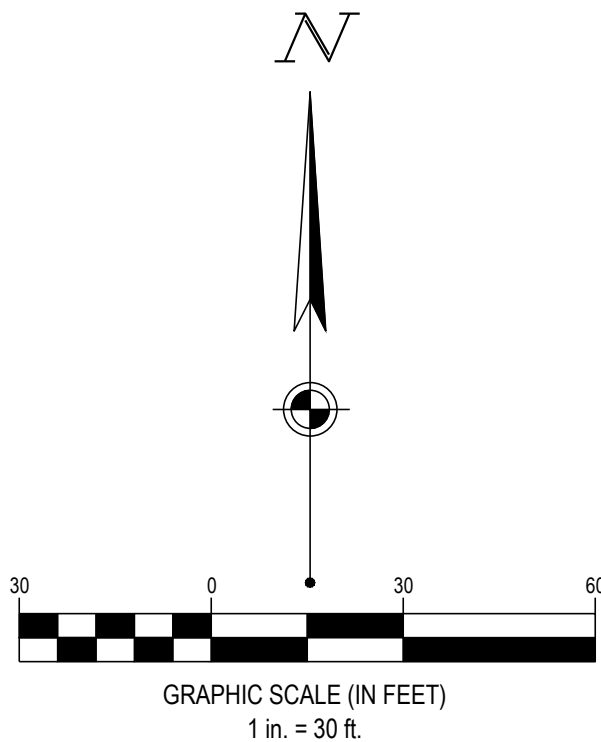
LANDSCAPE REQUIREMENTS

FRONT LANDSCAPE YARD (BIRCHWOOD ST, ERIE AVE: 1,347 LF): (1,347/ 2 = 674 POINTS)

REQUIRED WIDTH:	35'
PROPOSED WIDTH:	35'
EXISTING TREES (15 POINTS):	4 X 15 = 60 PTS
PROPOSED SHADE TREES (15 POINTS):	19 X 15 = 285 PTS
PROPOSED EVERGREEN TREES (15 POINTS):	19 X 15 = 285 PTS
PROPOSED INTERMEDIATE TREES (10 POINTS):	5 X 10 = 50 PTS
PROPOSED EVERGREEN SHRUBS (2 POINTS):	310 X 2 = 620 PTS
PROPOSED DECIDUOUS SHRUBS (1 POINT):	47 X 1 = 47 PTS

SIDE LANDSCAPE YARD (EAST, SOUTHWEST: 1,140 LF): (1,140/ 2 = 570 POINTS)

REQUIRED WIDTH:	25'
PROPOSED WIDTH:	25'
EXISTING TREES (15 POINTS):	9 X 15 = 135 PTS
PROPOSED SHADE TREES (15 POINTS):	3 X 15 = 45 PTS
PROPOSED EVERGREEN TREES (15 POINTS):	22 X 15 = 330 PTS
PROPOSED INTERMEDIATE TREES (10 POINTS):	
PROPOSED EVERGREEN SHRUBS (2 POINTS):	30 X 2 = 60 PTS
PROPOSED DECIDUOUS SHRUBS (1 POINT):	



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LOVE'S TRAVEL STOPS

MORTON, IL

ERIE AVE & BIRCHWOOD ST.
MORTON, IL 61550

Revisions / Submissions

ID	Description	Date
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Project Number: 763349

Scale: 1"=30'

Drawn By: PS

Checked By: EAB

Date: 05/24/2024

Issue: PRELIMINARY

Drawing Title:

PLANTING PLAN -
NORTH

L1.1

